



AGENDA
RIO DELL PLANNING COMMISSION
"VIRTUAL" REGULAR MEETING
TUESDAY, APRIL 28, 2020 – 6:30 P.M.
CITY HALL COUNCIL CHAMBERS
675 WILDWOOD AVENUE, RIO DELL

WELCOME....*Copies of this agenda, staff reports and other material available to the Commission are available at the City Clerk's office in City Hall, 675 Wildwood Avenue. Your City Government welcomes your interest and hopes you will attend and participate in Rio Dell Planning Commission meetings often.*

**SPECIAL PUBLIC HEALTH EMERGENCY ALTERATIONS TO MEETING FORMAT
CORONAVIRUS (COVID-19)**

Due to the unprecedented public health threats posed by COVID-19 and the resultant need for social distancing, changes to the Planning Commission format are required. Executive Order N-25-20 and N-29-20 from Governor Gavin Newsom allow for telephonic Planning Commission meetings and waives in-person accessibility for Planning Commission meetings, provided that there are other means for the public to participate. Therefore, and effective immediately, and continuing only during the period in which state or local public health officials have imposed or recommended social distancing measures, the City Council and the Rio Dell Planning Commission will only be holding "virtual" meetings.

In balancing the health risks associated with COVID-19 and need to conduct government in an open and transparent manner, public comment on agenda items can be submitted via email at publiccomment@cityofriodell.ca.gov. Please note which project the comment is directed to and email no later than one hour prior to the start of the meeting. Your comments will be read out loud, for up to three minutes.

A. CALL TO ORDER

B. ROLL CALL

C. PLEDGE OF ALLEGIANCE

D. CEREMONIAL MATTERS

E. CONSENT CALENDAR

1) 2020/0428.01 - Approve Minutes of the February 25, 2020 Regular Meeting
ACTION)

1

F. PUBLIC PRESENTATIONS

This time is for persons who wish to address the Commission on any matter not on this agenda and over which the Commission has jurisdiction. As such, a dialogue with the Commission or staff is not intended. Items requiring Commission action not listed on this agenda may be placed on the next regular agenda for consideration if the Commission directs, unless a finding is made by at least 2/3rds of the Commission that the item came up after the agenda was posted and is of an urgency nature requiring immediate action.

Due to the COVID -19 situation public comment must be submitted via email at publiccomment@cityofriodell.ca.gov no later than one hour prior to the start of the meeting. Your comments will be read out loud, for up to three minutes.

G. SCHEDULED MATTERS/PUBLIC HEARINGS/STUDY SESSIONS

- 2) 2020/0428.02 - **Timmerman Conditional Use Permit:** (APN 052-071-006) Adopt Resolution No. PC 145-2020 Approving a Conditional Use Permit (CUP) Application for Adrian Timmerman at 221 Ogle Ave. for a 20' x 30' Metal Storage Building. **(ACTION)** 5
- 3) 2020/0225.03 - **Northwest 101 LLC/Marathon 101, LLC Conditional Use Permit:** (APN's 205-111-044 & 45, 205-171-013 & 018) Adopt Resolution No. PC 146-2020 Approving a Conditional Use Permit (CUP) Application for 25,340 square feet (canopy area) of Mixed-Light Commercial Cannabis Cultivation including Design Review for seven climate controlled greenhouses totaling approximately 42,400 square feet including a "Headhouse" for storage, drying and processing. **(ACTION)** 30

H. STAFF COMMUNICATIONS

I. ADJOURNMENT



In compliance with the American with Disabilities Act (ADA), if you need Special assistance to participate in this meeting, please contact the Office of the City Clerk at (707) 764-3532. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to the meeting.

***The next Regular Planning Commission meeting is scheduled for
Tuesday, May 26, 2020 at 6:30 p.m.***

**RIO DELL PLANNING COMMISSION
REGULAR MEETING MINUTES
FEBRUARY 25, 2020**

CALL TO ORDER

Commissioner Angeloff called the regular meeting of the Rio Dell Planning Commission to order at 6:30 p.m.

Present were Commissioners Angeloff, Kemp, Millington, Wilson, and Planning Commission Alternate Arsenault. Absent was Commissioner Marks (excused).

Others present were Community Development Director Caldwell and City Clerk Dunham.

CONSENT CALENDAR

Planning Commission Chair Angeloff asked if any Planning Commissioner or member of the public had any questions or corrections to the minutes as presented. There were no comments.

Approve Minutes of the January 28, 2020 Regular Meeting

Motion was made by Millington/Kemp to approve the minutes of the January 28, 2020 regular meeting as submitted. Motion carried 5-0.

PUBLIC PRESENTATIONS

None

SCHEDULED MATTERS/PUBLIC HEARINGS/STUDY SESSIONS

Resolution No. PC-143-2020 Recommending the City Council adopts Ordinance No. 379-2020 repealing Section 17.30.290, Second Dwelling Units, Section 17.30.190, Medical Marijuana Regulations, Establishing Section 17.30.020, Accessory and Junior Accessory Dwelling Units, and Renumbering Chapter 17.30, General Provisions and Exceptions of the Rio Dell Municipal Code

Community Development Director Caldwell provided a staff report and explained that the proposed resolution was discussed at length at the January 28, 2020 meeting. He said as the Commission may recall, staff reached out to the Department of Housing and Community Development (HCD) regarding potentially disallowing Accessory Dwelling Units (ADU's) in the Belleview/Ogle area due to drainage

**RIO DELL PLANNING COMMISSION
FEBRUARY 25, 2020 MINUTES
Page 2**

concerns in that neighborhood. As such, adoption of the Resolution was continued to this meeting to allow time for the Department of Housing and Community Development (HCD) to respond. The response from HCD was that the City could not disallow ADU's in that area because the drainage was not a life-safety issue. They did indicate that if the City wanted to preclude them, they could adopt a moratorium on all new impervious development in the area, which would then apply to ADU's. He indicated that this is probably not something the City wants to do at this time and noted that the City did make some recent improvements to the drainage in that area.

He commented that staff's recommendation has not changed regarding adoption of the resolution and provided a brief overview of the items discussed at the last meeting.

Commissioner Wilson mentioned that she knew someone that lives on one of the side streets off Painter St. who experiences flooding and asked what is involved with adopting a moratorium.

Community Development Director Caldwell was not aware of any particular problem areas as far as storm water other than when the river rises, noting that ponding does occur during significant storm events.

Commissioner Angeloff pointed out that a moratorium is a drastic measure and the he would not advise it.

He called for public comment on the proposed resolution.

Frank Wilson questioned zoning/parking exceptions in the avenues.

Community Development Director Caldwell explained that the area was identified separately in the ordinance as an area where there is no parking exceptions allowed based on narrow streets and off street parking congestion.

Motion was made by Kemp/Wilson to adopt Resolution No. 143-2020 *Recommending that the City Council Adopt Ordinance No. 379-2020 Repealing Section 17.30.290, Second Dwelling Units, Section 17.30.190. Medical Marijuana Regulations, Establishing Section 17.30.020, Accessory Dwelling Units, and Renumbering Chapter*

**RIO DELL PLANNING COMMISSION
FEBRUARY 25, 2020 MINUTES
Page 3**

17.30, General Provisions and Exceptions of the Rio Dell Municipal Code (RCMC).
Motion carried 5-0.

The next two agenda items, Rio Dell Holdings and Northwestern 101, LLC were continued to the next meeting.

Community Development Director Caldwell explained that there were a couple of issues related to the Northwestern 101 (Hakuna Matata) project that still need to be worked out, primarily in regard to the leach field locations and size. The parcel in question was at one time a log pond and filled in with gravel material, which makes it difficult to find a suitable leach field area. The leach field area identified is larger than expected which reduces the buildable area of the parcel.

He said that it is basically the same with the Rio Dell Holdings parcels noting that they reconfigured their land from four parcels with a remainder parcel to four parcels. A couple of the leach fields were in different areas and the County Department of Environmental Health is reviewing the new soils report.

Commissioner Angeloff suggested the Commission schedule a special meeting to consider the projects if necessary.

Community Development Director Caldwell commented that he was trying to fast track the projects and mentioned calling a special meeting however; the applicants were not concerned about waiting until the next regular meeting on March 24 for the items to be agenized.

STAFF COMMUNICATIONS

Community Development Director Caldwell reported on recent activities and noted that a Nuisance Advisory Committee meeting was held on February 19 with five or six cases closed in January.

He also reported that the Danco (River Bluff Cottages) were up and running and that the City would be hosting the League of California Cities Redwood Empire Division meeting on March 20, with the General Business Membership portion of the meeting to be held at the River Bluff Cottages, followed by a reception and dinner at the Benbow Inn.

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FEBRUARY 25, 2020 MINUTES
Page 4**

He said that staff was working with the GHD, the City's engineer, and HCD on an application for SB-2 funding to possibly assist with the Housing Element update.

He then provided an update on the dispensaries and noted he did a walk-thru for Proper Wellness at 116 Wildwood Ave. and with the exception of a couple of minor corrections, they would be ready to open for business next week. Element 7 was moving forward with the purchase of the former Green Bean at 281 Wildwood Ave. and would be making some minor changes to the layout of the building before opening.

Commissioner Angeloff asked what would be involved in demolishing 255 Wildwood Ave. (former BP) and Element 7 acquiring it for a parking lot.

Community Development Director Caldwell said the question would be whether they would want to take on a Brownfield site and said that staff would need to reach out to the State regarding the required remediation.

He also reported that the third applicant was notified with approval to submit application for a dispensary but nothing had been received.

ADJOURNMENT

The meeting adjourned at 6:52 p.m. to the March 24, 2020 regular meeting.

Nick Angeloff, Chair

Attest:

Karen Dunham, City Clerk

675 Wildwood Avenue
Rio Dell, CA 95562
(707) 764-3532



For Meeting of: April 28, 2020

To: Planning Commission

From: Kevin Caldwell, Community Development Director

Through: Kyle Knopp, City Manager

Date: April 20, 2020

Subject: Timmerman Conditional Use Permit
File No. 052-071-006; Case No. CUP 20-01

Recommendation:

That the Planning Commission:

1. Receive staff's report regarding the proposed Conditional Use Permit;
2. Open the public hearing, receive public input, close the public hearing and deliberate;
3. Assuming that public testimony is substantially in support of the proposal, find that:
 - (a) The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this title and all other City ordinances;
 - (b) The proposed use is consistent with the general plan and any applicable specific plan;
 - (c) The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity;
 - (d) The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints;
 - (e) Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located; and

(f)The Conditional Use Permit has been processed in accordance with the applicable provisions of the California Government Code and the California Environmental Quality Act (CEQA);

4. Adopt Resolution No. PC 145-2020 approving the Conditional Use Permit, subject to the Conditions of Approval, Exhibit A.

Summary

Adrian Timmerman has made application for a Conditional Use Permit (CUP) of a 600 square foot (30' x 20') steel accessory building on a vacant residential parcel. Pursuant to Section 17.30.020 of the Rio Dell Municipal Code (RDMC) a Conditional Use Permit is required for the construction of a residential accessory building prior to the main building (residence). Below is a copy of Section 17.30.020 of the RDMC:

17.30.020 Accessory Uses and Buildings

(1) A use legally permitted in the zone that is accessory to and subordinate to the principal use of the site and serves a purpose which does not change the character of the principal use. Accessory uses, as defined herein, shall be permitted as appurtenant to any permitted use, without the necessity of securing a use permit, unless particularly provided in this chapter; provided, that no accessory use shall be conducted on any property in any urban residential, suburban residential or suburban zone unless and until the main building is erected and occupied, or until a use permit is secured. [Ord. 252 § 6.02, 2004.]

The primary purpose for requiring a Conditional Use Permit for a residential accessory structure constructed prior to the construction of the residence is to ensure that the accessory structure does not preclude the development of the residence.

Required Findings/Staff Analysis

Section 17.35.030 Rio Dell Municipal Code (RDMC) Conditional Use Permits.

1. Zoning Consistency

(a) The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this title and all other City ordinances;

Land Use: The property is zoned Urban Residential (UR). A copy of the Urban Residential Development Standards is included as Attachment 1. The purpose of the Urban Residential zone is to provide neighborhood residential areas with varying densities for single-family dwellings. Residential uses including residential accessory uses are allowed in the zone. As indicated above, a Conditional Use Permit is required for the construction of an accessory building on a vacant parcel. Again, the purpose of the required CUP is to ensure that the accessory structure does not preclude the development of the residence.

Accessory buildings in the City's residential zones are required to be subordinate to the residential use of the property. Based on the size and configuration of the parcel, staff believes the proposed 600 square foot building will be subordinate to the future residential use of the property.

Building Height: The height of the proposed building will be approximately sixteen (16) feet. The maximum height allowed in the Urban Residential zone for accessory structures on parcels greater than 20,000 square feet is twenty (20) feet. The proposed building complies with the height requirement.

Setbacks: The Urban Residential zone requires a twenty (20) foot front yard setback, a ten (10) foot rear yard setback and five (5) foot setbacks along the sides of the parcel. The proposed project complies with the required setbacks.

Lot Coverage: The Urban Residential zone allows up to 50% lot coverage. According to the County GIS, the lot is vacant and is approximately 1.7 acres. Obviously the project complies with the lot coverage requirements of the zone.

Design Review: Single family residential dwellings and residential accessory buildings are not subject to the City's Design Review Regulations pursuant to Section 17.25.050(2) of the RDMC.

Based on the information submitted, comments received from referral agencies, staff believes the proposed 600 square foot (30' x 20') steel accessory building will be compatible with the character of the surrounding neighborhood and consistent with the Urban Residential (UR) designation and all other applicable provisions of Zoning Regulations.

2. General Plan Consistency

(b) The proposed use is consistent with the general plan and any applicable specific plan;

The General Plan designation is also Urban Residential. The proposed residential use is considered a primary use in the Urban Residential designation. There are no other policies in the General Plan that apply to the proposed project

3. Land Use Compatibility

(c) The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity;

The proposed design is residential in character and appears compatible with the surrounding residences in the neighborhood. Staff noticed approximately 16 parcels surrounding the project site and has not received any inquiries regarding the proposed steel accessory building. Based on the information submitted, the apparent lack of concern from neighboring properties, comments received from referral agencies, staff believes the proposed 1steel accessory building will be compatible with the character of the surrounding neighborhood.

4. Site Suitability

(d) The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints;

The site is physically suitable for the proposed 600 square foot (30' x 20') steel accessory building. The parcel is not subject to flooding, landslides or earthquake faults. Access to the parcel is off of Ogle Avenue.

5. Public Interest, Health, Safety and Welfare

(e) Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located;

The new construction is subject to the California Building Code (CBC), which includes standards to ensure that buildings are constructed to minimum safety standards. The applicant is proposing to tight line the roof run-off to a small depression retention area. The project has been conditioned accordingly. There is no evidence to suggest that the construction will be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located.

6. California Environmental Quality Act

The primary purpose of the California Environmental Quality Act (CEQA) is to inform the decision makers and the public of potential environmental effects of a proposed project. Based on the proposed project, staff has determined that the project is Categorically Exempt pursuant Class 3, Section 15303 of the CEQA Guidelines, Title 14, Chapter 3 of the California Code of Regulations. Section 15303 applies to the construction or conversion of small structures.

Attachments:

Attachment 1: Urban Residential Development Standards.

Attachment 2: Referral package including maps.

Attachment 3: Exhibit A, Conditions of Approval.

Attachment 4: Resolution No. PC 145-2020.

**Urban Residential Zone Development Standards
Section 17.20.030 Rio Dell Municipal Code**

17.20.030 Urban Residential or UR zone.

The purpose of the Urban Residential or UR zone is to provide neighborhood residential areas with varying densities for single-family dwellings. The following regulations shall apply in all Urban Residential or UR zones:

(1) Principal Permitted Uses.

- (a) Detached single-family dwellings.

(2) Uses Permitted with a Use Permit.

- (a) Attached dwellings with a minimum lot size of 4,000 square feet;
(b) Rooming and boarding of not more than two persons not employed on the premises;
(c) Public and private non-commercial recreation facilities;
(d) Schools, churches, civic and cultural uses including City offices and day care centers.

(3) Other Regulations. See Table 17.20.030 for development standards for the Urban Residential (UR) zone.

Table 17.20.030
Development Standards for the Urban
Residential or UR Zone

Site Development Standard	Zone Requirement
Minimum Lot Area:	6,000 square feet
Maximum Ground Coverage:	50%
Minimum Lot Width:	60 feet
Minimum Yards	
Front:	20 feet
Rear:	10 feet
Side:	5 feet
Maximum Building Height:	35 feet

[Ord. 252 § 4.03, 2004 & Ord. 280 §17.20.030(2)(a), 2012]

Note: For Corner Lot and Other Yard Setbacks, See Section 17.30.340 RDMC



PROJECT REFERRAL

Date: February 24, 2020

To: ☒ Public Works
☒ Rio Dell Fire District
☒ Rio Dell Police Department
☐ County Environmental Health
☐ County Planning Department
☐ Regional Water Quality Control Board

☐ Fortuna Fire Protection District
☒ Rio Dell City Manager
☐ City Engineer (GHD)
☐ Caltrans District #1
☐ Fish and Wildlife
☒ Applicant/Agent

Applicant: Adrian Timmerman
Address: 223 Ogle Avenue
City/State/Zip: Rio Dell, CA. 95562
Telephone: (916) 764-5412
Email: _____

Agent: None
Address: _____
City/State/Zip: _____
Telephone: _____
Email: _____

Assessor Parcel Number(s): 052-071-006

General Plan/Zoning Designation: Urban Residential

Project Description: An application for a Conditional Use Permit (CUP) for a 20' x 30" metal storage building on a vacant parcel. In Residential zones, Section 17.30.020 of the RDMC requires a CUP for accessory uses where there is no residence.

Project Location: The project site is located at 221 Ogle Avenue.

Please review the attached information regarding the above referenced project and provide your comments with any recommended conditions of approval **within 10 calendar days** of the above date. If no response is received or a request for an extension is not received within 10 calendar days of the above date, it will be assumed that your agency has no comments or concerns regarding the project. **The project is scheduled to be heard at the Planning Commission meeting of March 24, 2020.**

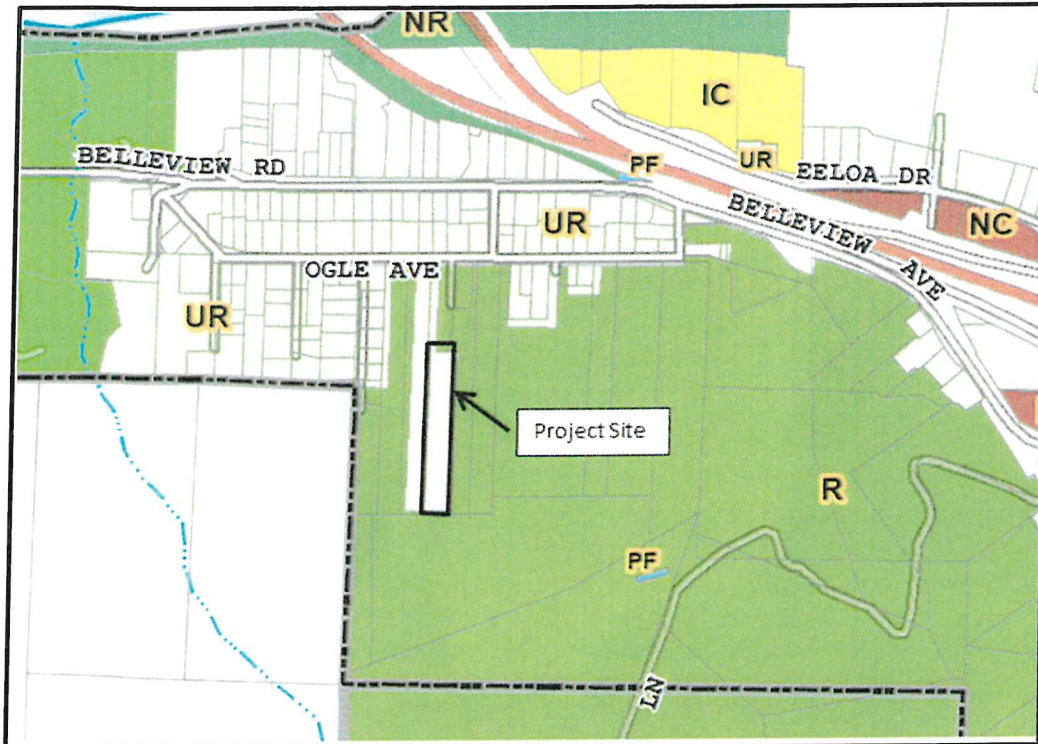
If you have any questions concerning the project, please contact Kevin Caldwell, Community Development Director between 8:00 a.m. and 5:00 p.m. Monday through Thursday at (707) 764-3532.

We have reviewed the above referenced application and recommend the following (please check one):

- ☐ Recommend approval. The Department has no comment at this time.
☐ Recommend conditional approval. Suggested conditions attached.
☐ Other comments:

Signature: _____

Date: _____



Zoning/General Plan = Urban Residential

17.30.020 Accessory Uses and Buildings

(1) A use legally permitted in the zone that is accessory to and subordinate to the principal use of the site and serves a purpose which does not change the character of the principal use. Accessory uses, as defined herein, shall be permitted as appurtenant to any permitted use, without the necessity of securing a use permit, unless particularly provided in this chapter; provided, that no accessory use shall be conducted on any property in any urban residential, suburban residential or suburban zone unless and until the main building is erected and occupied, or until a use permit is secured. [Ord. 252 § 6.02, 2004.]

(2) Detached accessory buildings in suburban residential, urban residential, residential multifamily and suburban zones shall conform to the following development standards. See "Building Height" definition, Section 17.10.010.

(a) Maximum Building Height

- (i) Fifteen feet (15') on lots 20,000 square feet or less.
- (ii) Twenty feet (20') on lots larger than 20,000 square feet.

(b) Maximum Gross Floor Area

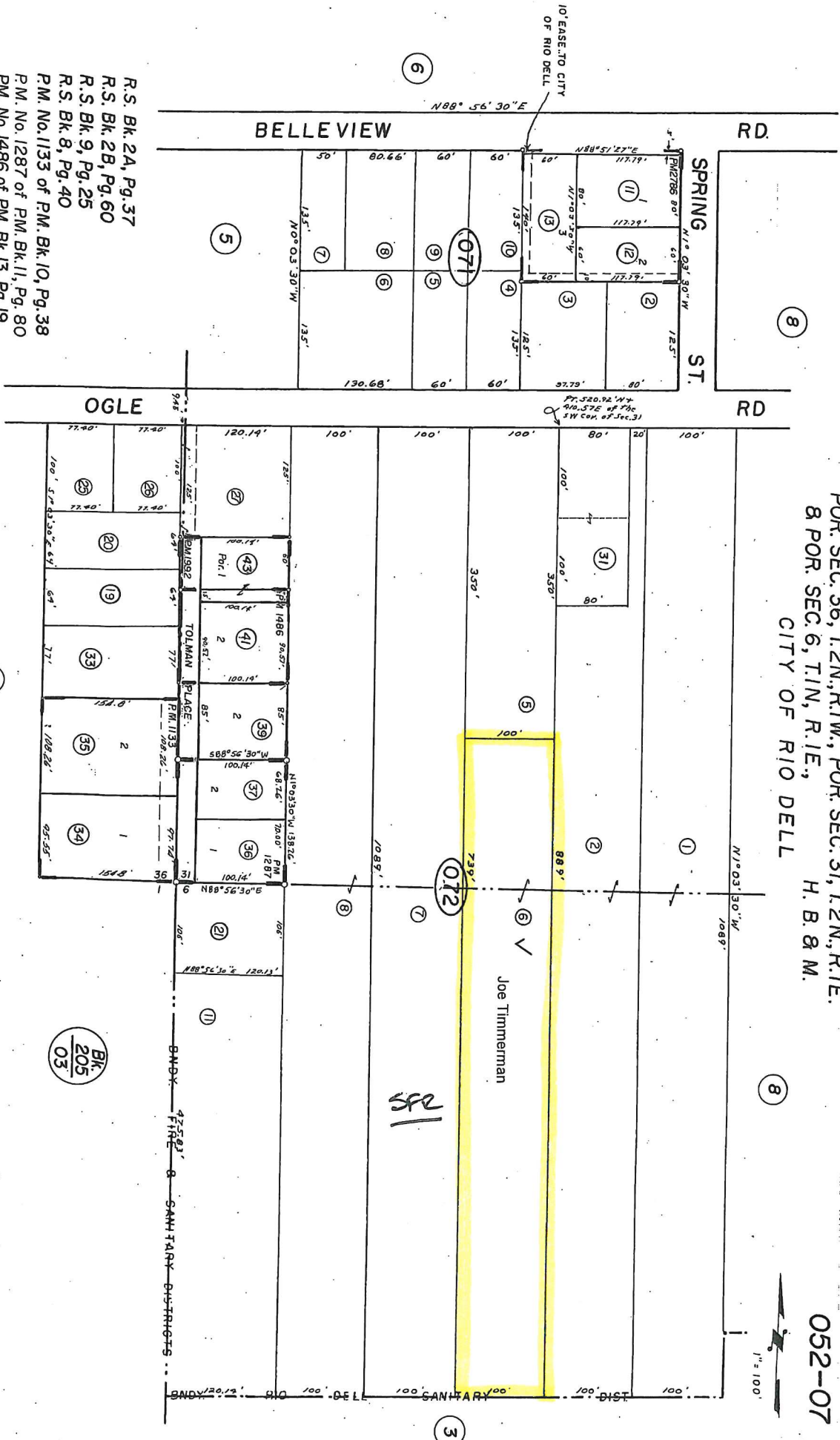
- (i) 1,000 square feet on lots 20,000 square feet or less.
- (ii) 1,500 square feet on lots larger than 20,000 square feet.

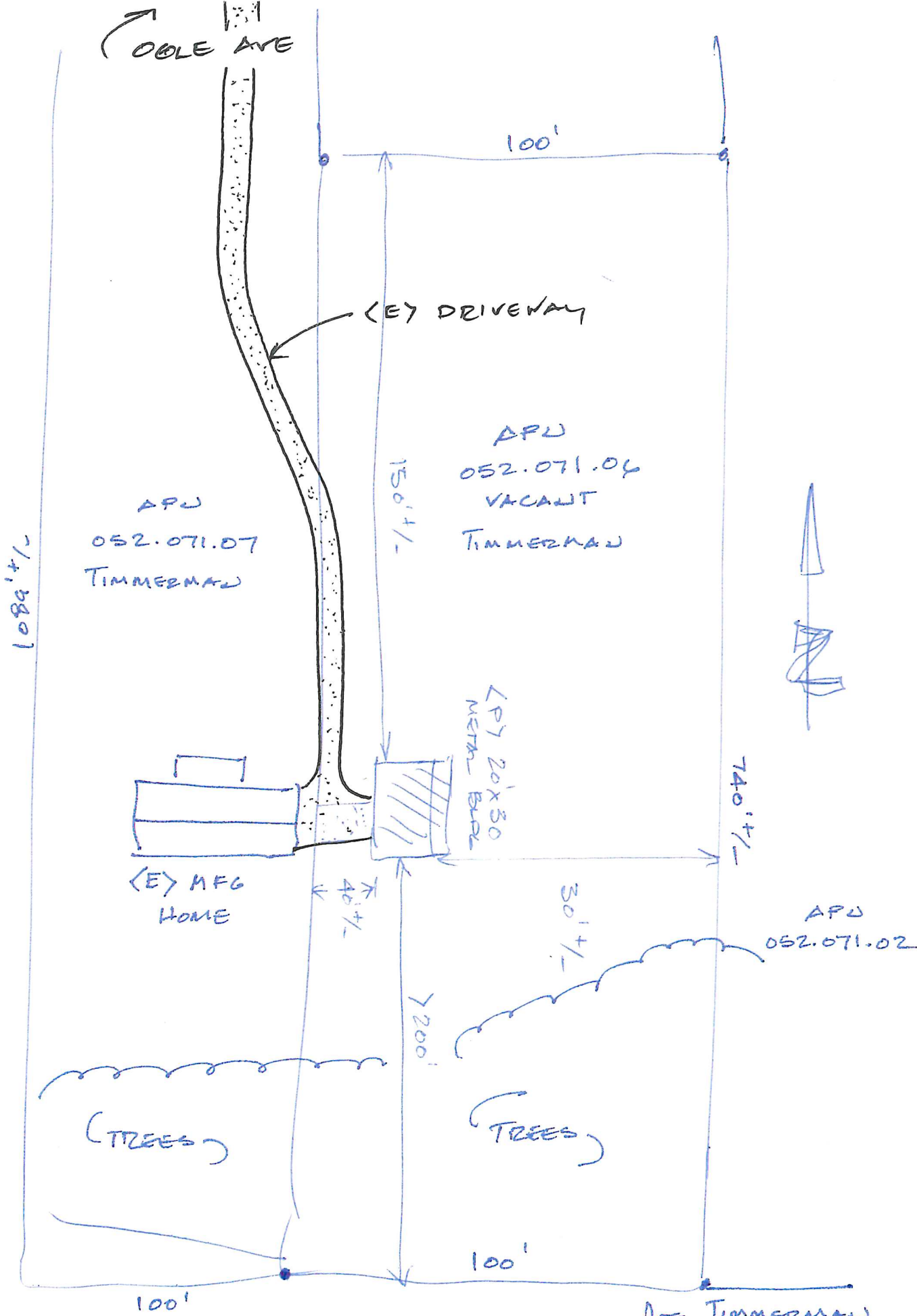
POR. SEC. 36, T2N, R1W, POR. SEC. 31, T2N, R1E.
 8 POR. SEC. 6, T1N, R1E., H. B. & M.
 CITY OF RIO DELL

052-07

R.S. Bk. 24, Pg. 37
 R.S. Bk. 28, Pg. 60
 R.S. Bk. 9, Pg. 25
 R.S. Bk. 8, Pg. 40
 P.M. No. 1133 of P.M. Bk. 10, Pg. 38
 P.M. No. 1287 of P.M. Bk. 11, Pg. 80
 P.M. No. 1486 of P.M. Bk. 13, Pg. 80
 P.M. 1992 of P.M. Bk. 17, Pg. 103
 P.M. 2786 of P.M. Bk. 25, Pg. 59-60

Assessor's Map Bk. 52 - Pg. 07
 County of Humboldt, Calif.

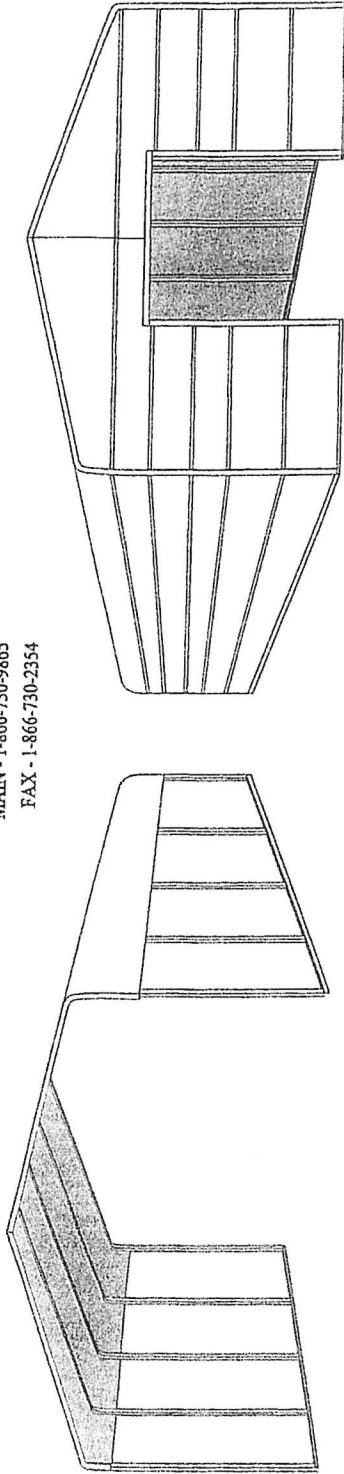




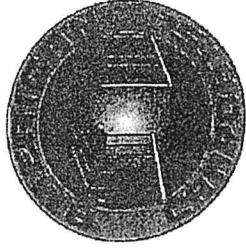
JOE TIMMERMAN
 223 OOLE AVE -13-
 RIO DELL, CA.

AMERICAN CARPORTS INC.

457 N. BROADWAY
JOSHUA, TX 76058
MAIN - 1-866-730-9865
FAX - 1-866-730-2354



REGULAR / A-FRAME - VERTICAL / HORIZ.
20' CARPORT
(STATE OF CALIFORNIA)
AS PER DESIGN CRITERIA



OWNER: AMERICAN CARPORTS
LOCATION: CALIFORNIA
DRAWING NO.: AMC-20
DATE: 4/6/2012
PROJECT NUMBER:
DRAWN BY: JMS
CHECKED BY: OA

A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1996
5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955

DRAWING TITLE: COVER
SHEET NO.: 1 OF 9

SEAL:
PROFESSIONAL ENGINEER
CIVIL
OMAR A. ABU-YASEIN
C73389
STATE OF CALIFORNIA

LICENSE EXPIRES: 12/31/2012
DATE SIGNED: 4/6/2012

DESIGN NOTES	DESIGN CRITERIA	DRAWING INDEX
1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2006, OSHA, AISC, ASCE7-05, AWS D1.1 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS. 2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON SHEET 9 3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL. 4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS. 5. ALL FIELD CONNECTIONS SHALL BE TKS #12 (1/4"x1"). 6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIS HT. 3/4" (FY=80KSI) OR EQ. 7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL. 8. STRUCTURAL TUBE T52 1/2"x2 1/2" - 12GA. IS EQUIVALENT TO T52 1/4"x2 1/4" - 12GA. AND EITHER ONE CAN BE USED IN LIEU OF THE OTHER	PREVAILING CODE: CBC 2010 USE GROUP: U (CARPORTS, BARN5) BASIC WIND VELOCITY: 90 TO 100 MPH (SEE SCHEDULE) ROOF DEAD LOAD: 2.0 PSF ROOF LIVE LOAD: AS PER GROUND SNOW MIN. 20 PSF / MAX. 50 PSF GROUND SNOW LOAD: 20 TO 60 PSF (SEE SCHEDULE) IMPORTANCE FACTOR = SNOW 0.8 WIND 0.87 SEISMIC 1.0 SEISMIC DESIGN CATEGORY: D LOAD COMBINATIONS: DL+LL, 0.6DL+W1 DL+0.75LL+0.75W1	1.....COVER SHEET 2.....FLOOR PLAN 3.....REGULAR / AFRAME BLDG. SECTIONS 4.....SIDE ELEVATIONS 5.....SECTION DETAILS 6.....END WALL DETAILS 7.....OPENING DETAILS 8.....LEAN-TO OPTION 9.....ANCHORAGE
THE INFORMATION CONTAINED IN THESE DRAWINGS ARE THE SOLE PROPERTY OF A & A ENGINEERING. ANY REPRODUCTION IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF A & A ENGINEERING IS PROHIBITED.		



OWNER:

AMERICAN CARPORTS

LOCATION:

CALIFORNIA

DRAWING NO.:

AMC-20

DATE:

4/6/2012

PROJECT NUMBER:

DRAWN BY:

JMS

CHECKED BY:

OA



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5911 Renaissance Pl., Suite B
Toledo, Ohio 43623

Tel: (419) 292-191
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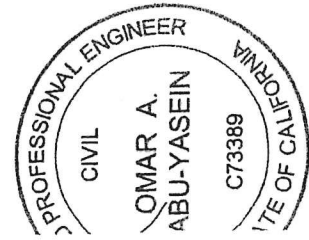
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FLOOR PLAN

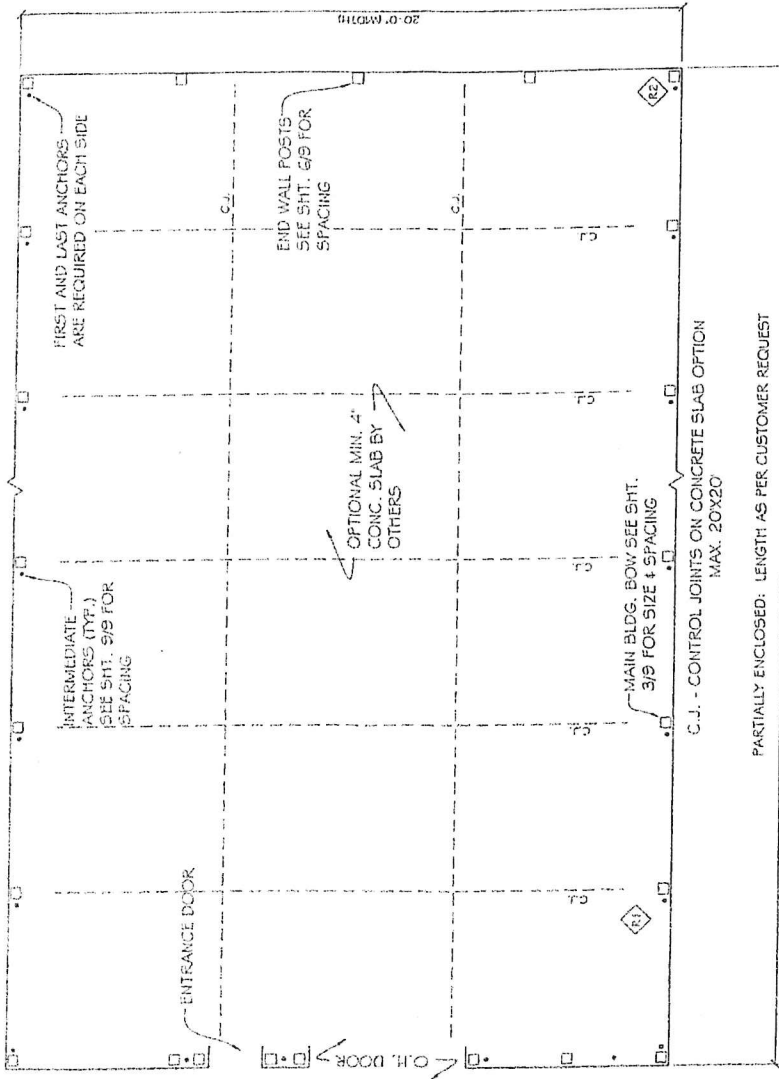
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2 OF 9

SEAL:



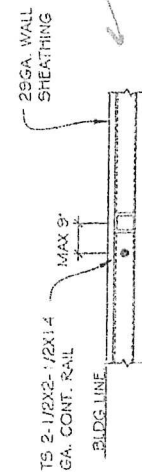
DATE SIGNED: 4/6/2012



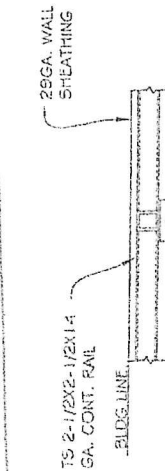
WINDOW/DOOR SIZES AND LOCATIONS
PER CUSTOMER REQUEST

*we do this
one most of
the time.*

FLOOR PLAN
(SCALE: NTS)

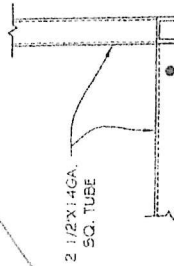


BASE ANCHOR
(SCALE: NTS)

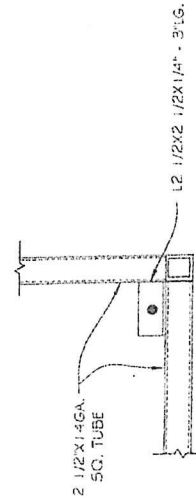


ALTERNATE ANCHOR
(SCALE: NTS)

ANCHOR, SEE OPTIONS
AND SPACING SHEET 5/9



BASE CORNER ANCHOR
(SCALE: NTS)



ALTERNATE CORNER ANCHOR
(SCALE: NTS)

FIRST AND LAST ANCHORS
ARE REQUIRED IN EACH SIDE



OWNER:

AMERICAN CARPORTS

LOCATION:

CALIFORNIA

DRAWING NO.:

AMC-20

DATE:

4/6/2012

PROJECT NUMBER:

DRAWN BY:

JMS

CHECKED BY:

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Tel: (419) 292-1983
Fax: (419) 292-0955

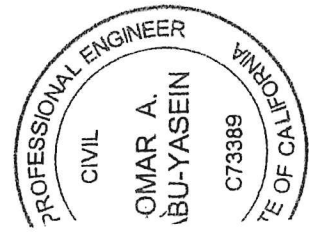
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TYP BLDG. SECTION

SHEET NO.:

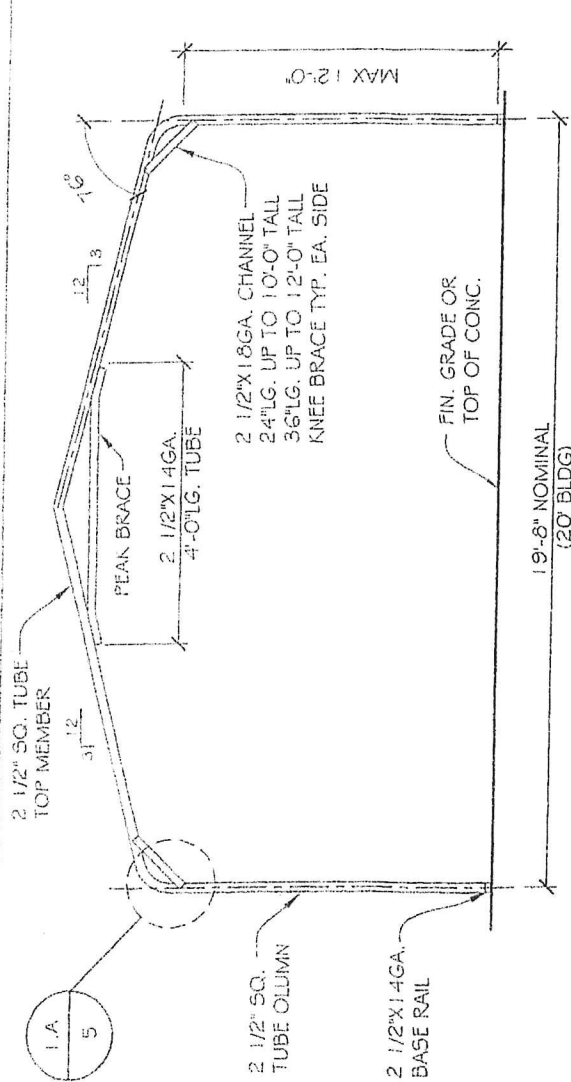
3 OF 9

SEAL:

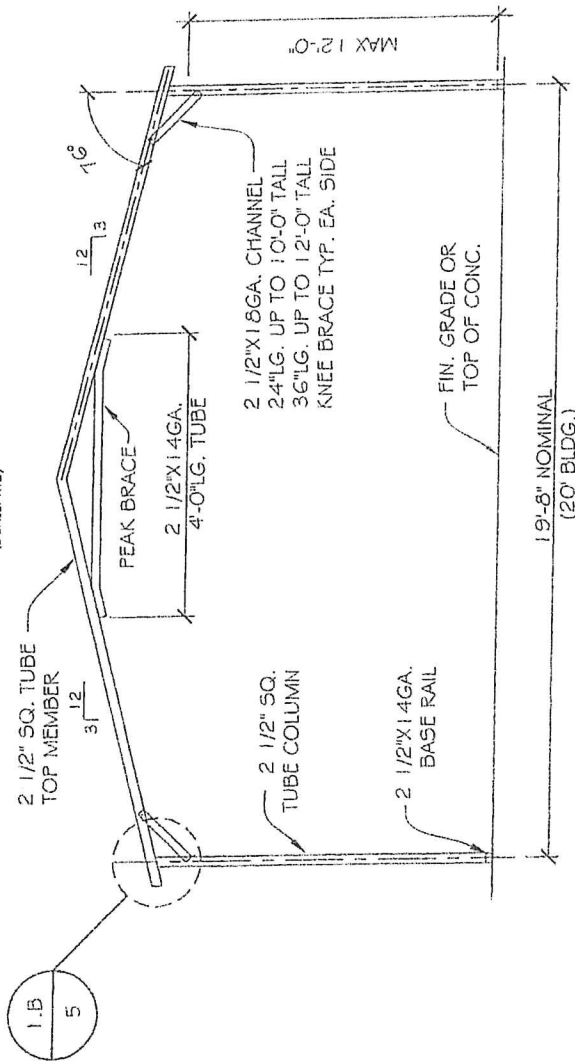


DATE SIGNED:

4/6/2012



REGULAR SINGLE BOW BUILDING SECTION
(SCALE: NTS)



A-FRAME SINGLE BOW BUILDING SECTION
(SCALE: NTS)

ALL STRUCTURAL TUBING SHALL BE 1/4 GA. OR HIGHER

F = FULLY ENCLOSED (CLOSED)
P = PARTIALLY ENCLOSED (OPEN)
G.S. = GROUND SNOW
L.L. = LIVE LOAD

BOW SCHEDULE
(TOP & COLUMN MEMBERS GAUGE AND SPACING)

GS/LL	WIND	POST HT.	80 TO 100 (MFT)		BUILDING WIDTH
			20'	60'	
20/20		5'-0" TO 8'-0"	F	P	20' (SINGLE ROW)
			F	P	60'
30/20		9'-0" TO 12'-0"	F	P	20' (SINGLE ROW)
			F	P	60'
40/30		5'-0" TO 8'-0"	F	P	20' (SINGLE ROW)
			F	P	60'
50/40		9'-0" TO 12'-0"	F	P	20' (SINGLE ROW)
			F	P	60'
60/50		5'-0" TO 8'-0"	F	P	20' (SINGLE ROW)
			F	P	60'

HIGHER VALUES WITHIN PARENTHESES CAN BE USED FOR VERTICAL SHEATHING ONLY



OWNER:

AMERICAN CARPORTS

LOCATION: CALIFORNIA

DRAWING NO.: AMC-20

DATE:

PROJECT NUMBER:

233-12-0308

DRAWN BY: JMS

CHECKED BY: OA



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NNCL 1996

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623

Tel: (419) 292-1983
Fax: (419) 292-0955

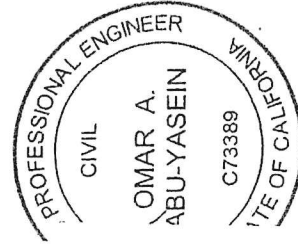
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SIDE ELEVATIONS

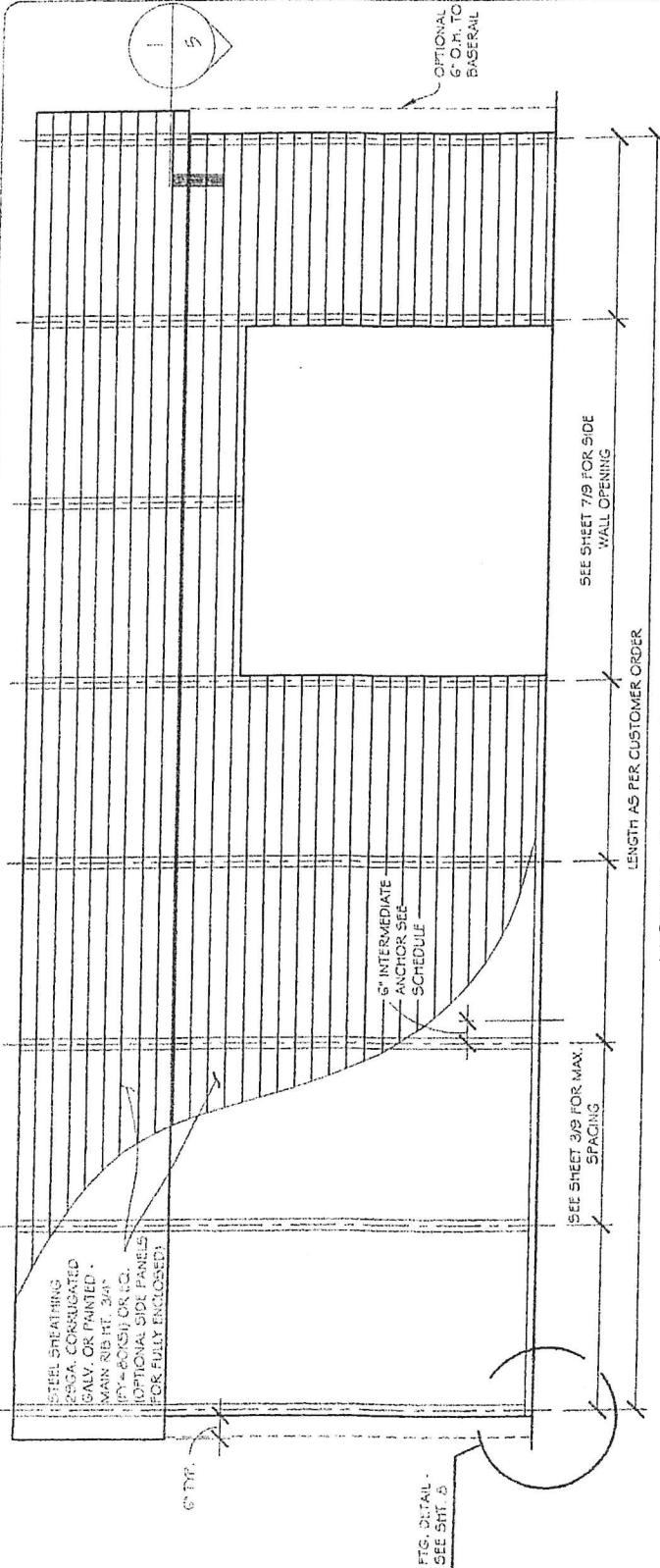
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4 OF 9

SEAL:

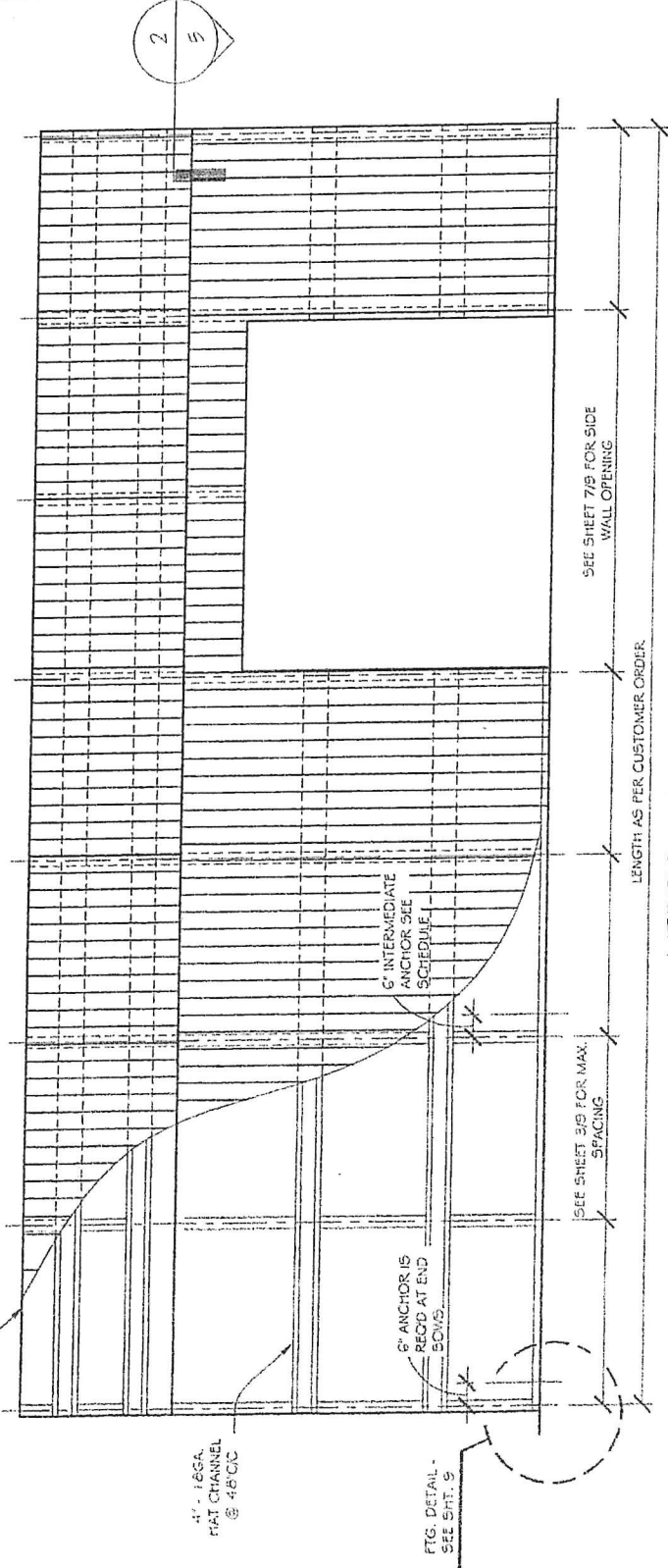


DATE SIGNED: 4/6/2012



HORIZ. SIDE ELEVATION

(SCALE: NTS)



VERTICAL SIDE ELEVATION

(SCALE: NTS)



OWNER:

AMERICAN CARPORTS

LOCATION:

CALIFORNIA

DRAWING NO.:

AMC-20

DATE:

4/6/2012

PROJECT NUMBER:

DRAWN BY:

JMS

CHECKED BY:

OA



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SINCE 1976

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Toledo, Ohio 43623
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Fax: (419) 292-0955

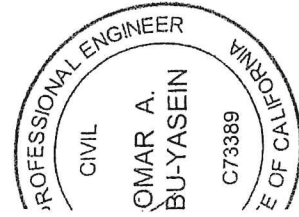
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SECTION DETAILS

SHEET NO.:

5 OF 9

SEAL:



DATE SIGNED: 4/6/2012

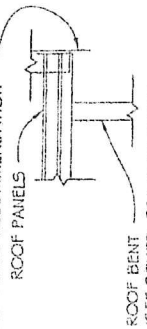
on roof
max 60 psf
on this

PURLIN SCHED.	
SNOW LOAD	HAT CHANNEL SPACING
20	48" C/C
30	48" C/C
40	36" C/C
50	36" C/C
60	30" C/C

TYPICAL A-FRAME VERTICAL SECTION DETAIL

(SCALE: NTS)

CONT. EDGE TRIM 2 1/2X2 1/2-29GA ALUM.
ANGLE ATTACH W/ TEK'S SCREW W/ NEOPRENE/
STEEL WASHER EVERY 2 RIBS AS NEEDED PER
SHEET MFR.'S RECOMMENDATION



ROOF BENT
(SEE SCHED. FOR TUBE SIZES)

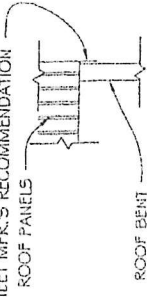
EDGE DETAIL

(SCALE: NTS)

1

4

CONT. EDGE TRIM 2 1/2X2 1/2-29GA ALUM.
ANGLE ATTACH W/ TEK'S SCREW W/ NEOPRENE/
STEEL WASHER EVERY 2 RIBS AS NEEDED PER
SHEET MFR.'S RECOMMENDATION



ROOF BENT
(SEE SCHED. FOR TUBE SIZES)

EDGE DETAIL

(SCALE: NTS)

2

4

STEEL SHEATHING
(SEE FASTENER SCHED.
FOR ATTACHMENT)



NO SCREWS REQUIRED
IN BOW BEND

TRIM (OR) OPTIONAL SIDE
PANELS FOR FULL ENCLOSURE

CONT. 29 GA ALUM. EDGE

ROOF BENT: (7'6")
GALV. OR EQ.

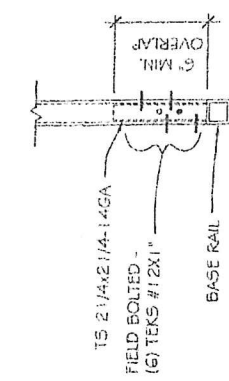
KNEE BRACE
SEE SHT. 3/9

REGULAR SINGLE BOW SECTION DETAIL

(SCALE: NTS)

1.A

3

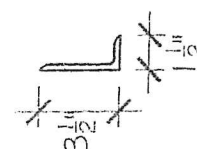


TS 2 1/4X2 1/4-14GA
FIELD BOLTED -
(6) TEK'S #12X1"

BASE RAIL

COLUMN BASE RAIL DETAIL

(SCALE: NTS)



TRIM DETAIL

(SCALE: NTS)

FASTENER SCHED.:
TYPE: TEK'S #12X1" SCREWS W/ NEOPRENE/STEEL WASHER
@ 6"C/C OF CORNER PANEL AND 8"C/C ELSEWHERE.
MIN. ONE FAST. PER SPAN AT SIDE LAP PANELS.
MIN. 4" C/C AT EDGE LAP PANELS W/ SILICON CAULK IN
BETWEEN PANELS.



OWNER: AMERICAN CARPORTS
LOCATION: CALIFORNIA
DRAWING NO.: AMC-20
DATE: 4/6/2012
PROJECT NUMBER:

DRAWN BY: JMS
CHECKED BY: OA



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Toledo, Ohio 43623
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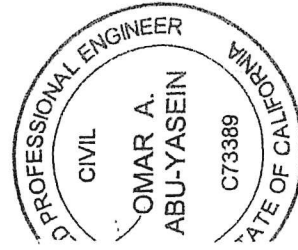
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END WALL DETAILS

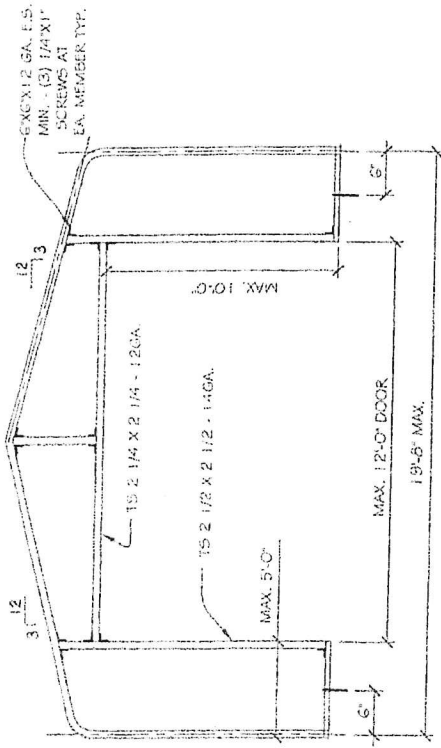
SHEET NO.:

6 OF 9

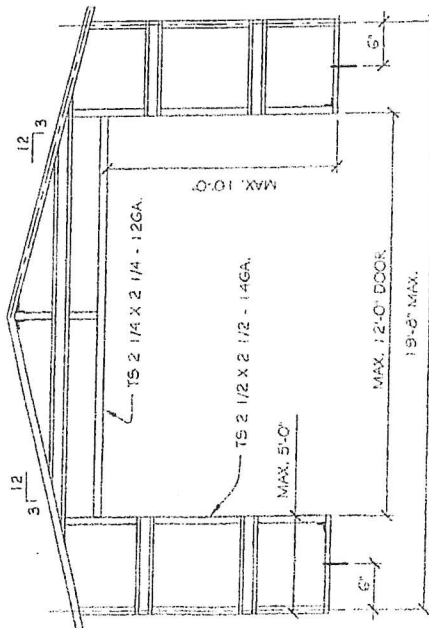
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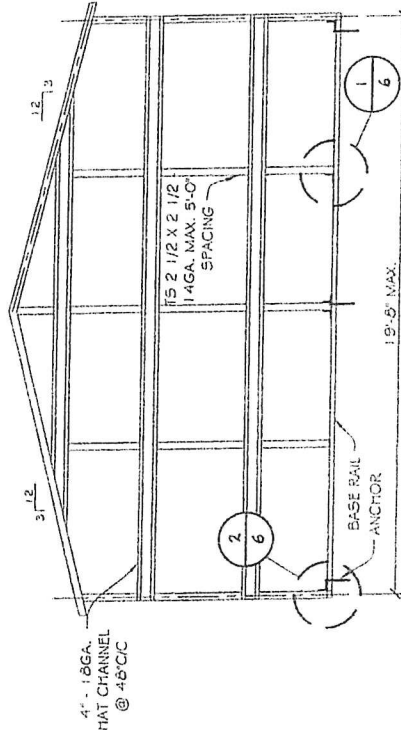
DATE SIGNED: 4/6/2012



REGULAR END WALL W/ OPENING
(SCALE: NTS)

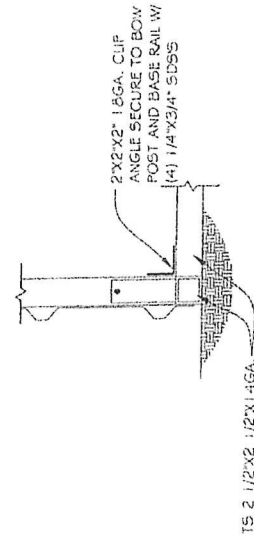


A-FRAME END WALL W/ OPENING
(SCALE: NTS)

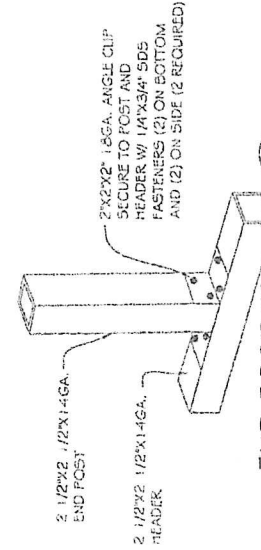


REGULAR END WALL
(SCALE: NTS)

A-FRAME END WALL
(SCALE: NTS)



END BOW/BASE RAIL
CONNECTION
(SCALE: NTS)



END POST TO
HEADER/RAIL CONN.
(SCALE: NTS)



OWNER:

AMERICAN CARPORTS

LOCATION:

CALIFORNIA

DRAWING NO.:

AMC-20

DATE:

4/6/2012

PROJECT NUMBER:

DRAWN BY:

JMS

CHECKED BY:

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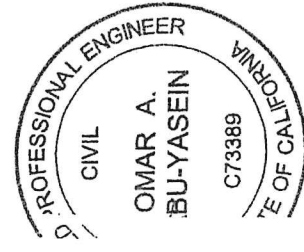
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SIDE WALL
OPENING DETAILS

SHEET NO.:

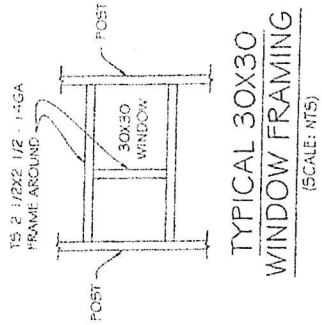
7 OF 9

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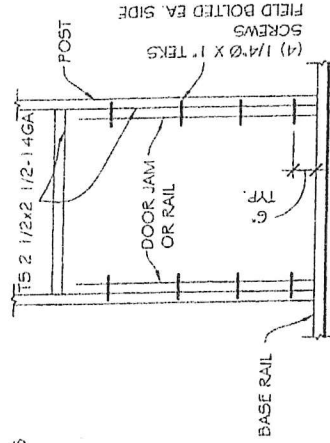


DATE SIGNED:

4/6/2012

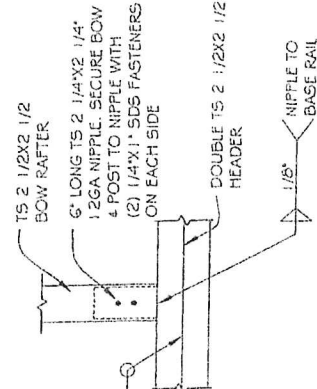


TYPICAL 30X30
WINDOW FRAMING
(SCALE: NTS)

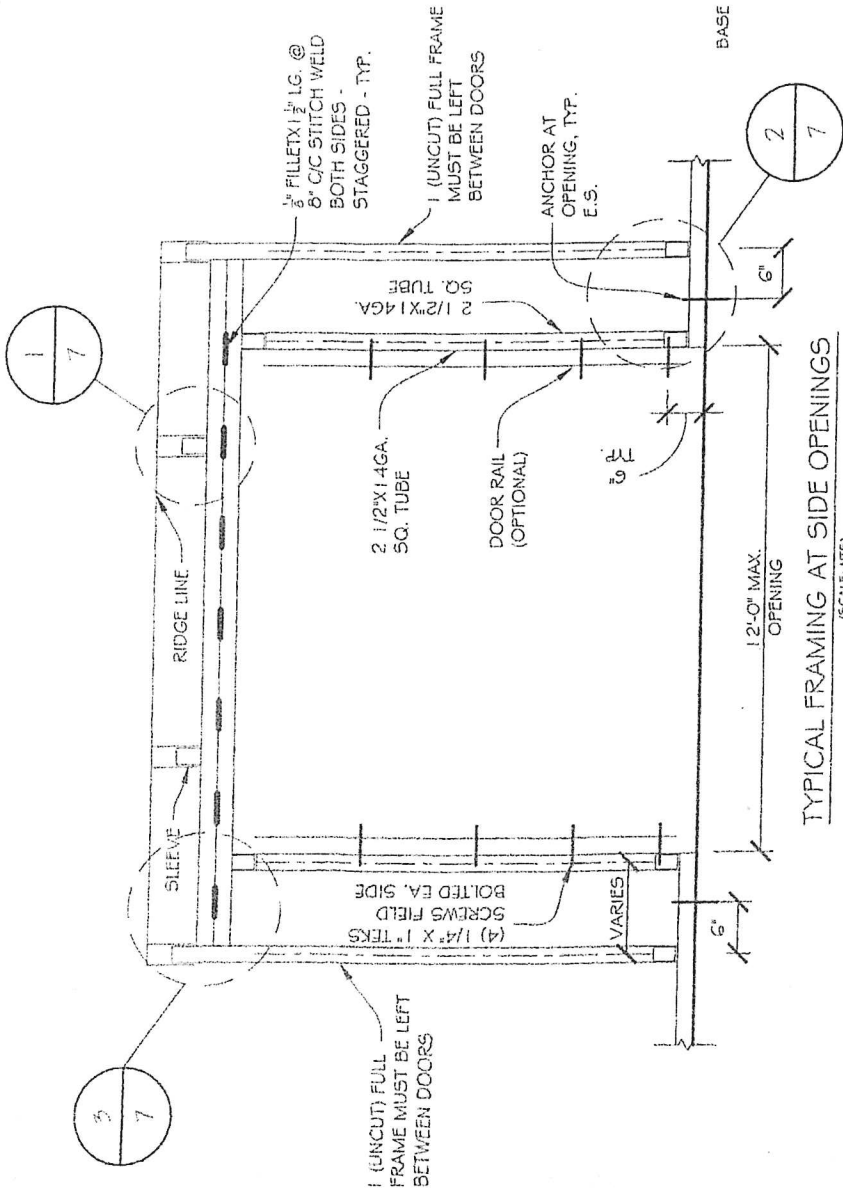


TYPICAL 36"X72"
DOOR FRAMING
(SCALE: NTS)

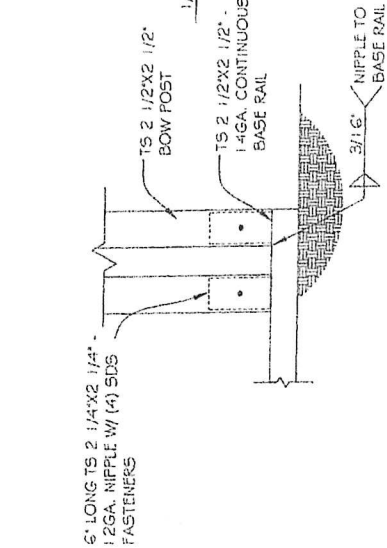
DOOR & WINDOWS SIZES ARE PER
CUSTOMERS ORDER



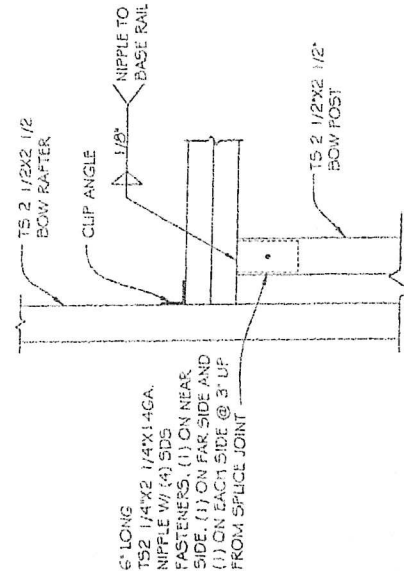
BOW/HEADER
DETAIL
(SCALE: NTS)



TYPICAL FRAMING AT SIDE OPENINGS
(SCALE: NTS)



BOW/BASE RAIL
CONN. DETAIL
(SCALE: NTS)



BOW/POST
DETAIL
(SCALE: NTS)



OWNER:

AMERICAN CARPORTS

LOCATION:

CALIFORNIA

DRAWING NO.:

AMC-20

DATE:

4/6/2012

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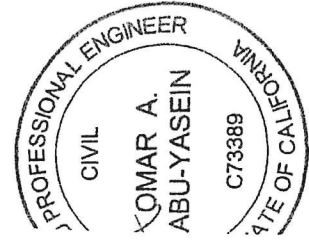
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LEAN-TO OPTION

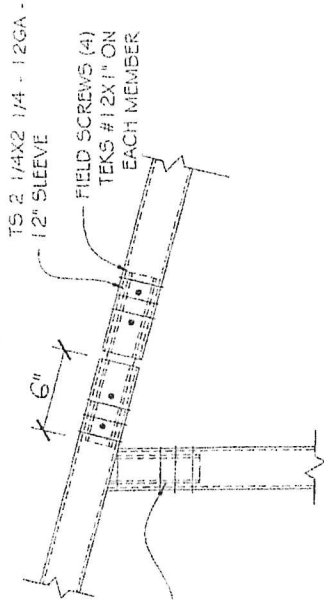
SHEET NO.:

8 OF 9

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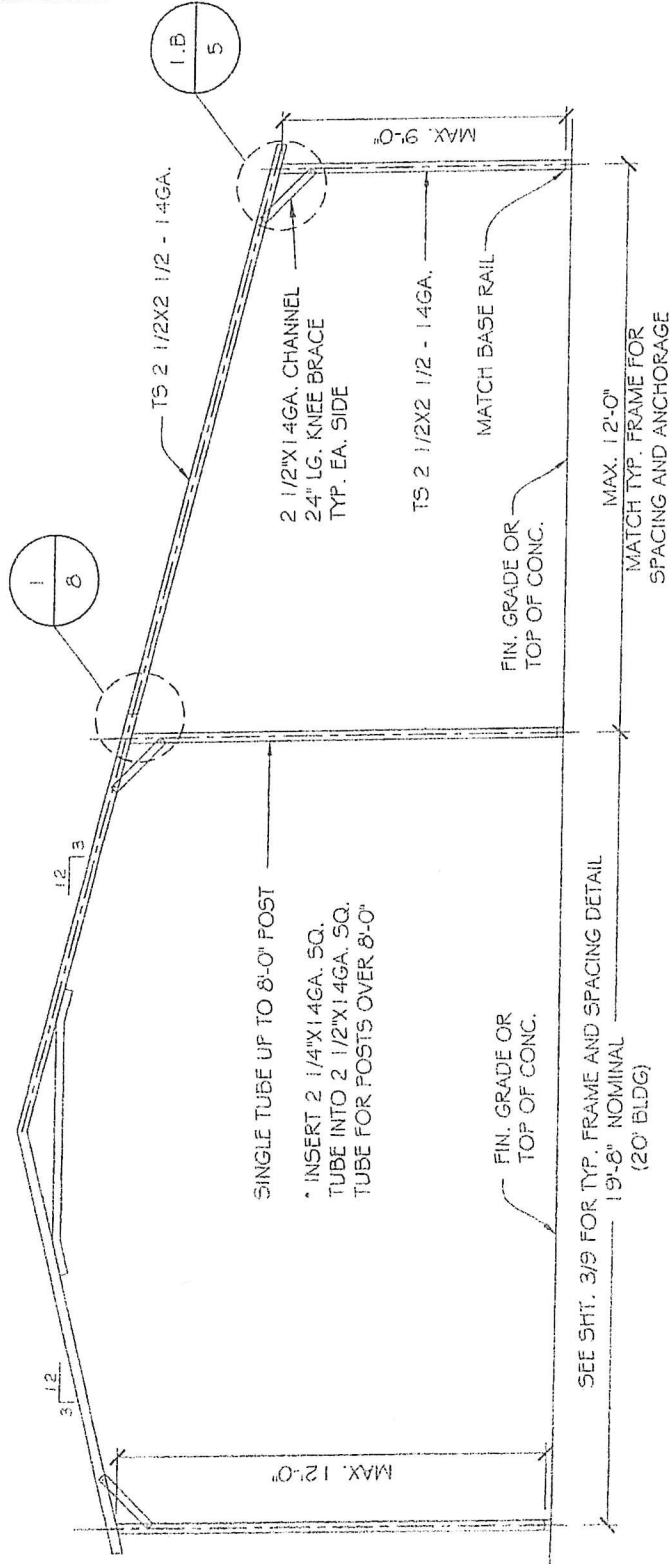


DATE SIGNED: 4/6/2012



TS 2-1/4X2-1/4 - 12GA - 6"
SLEEVE SHOP WELDED TO TOP
AND FIELD BOLTED TO VERT.
SAME NUM. OF SCREWS AS
BOTTOM (SEE COLUMN/
BASE RAIL DETAIL SHT. 5/9)

CONNECTION DETAIL
(SCALE: NTS)



A-FRAME "SB" LEAN-TO OPTION

(SCALE: NTS)



OWNER:

AMERICAN CARPORTS

LOCATION:

CALIFORNIA

DRAWING NO.:

AMC-20

DATE:

4/6/2012

PROJECT NUMBER:

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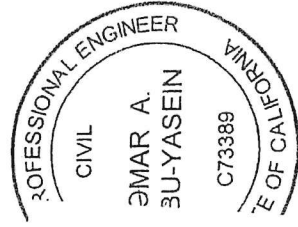
DRAWING TITLE:

CONC. SLAB
ANCHORAGE

SHEET NO.:

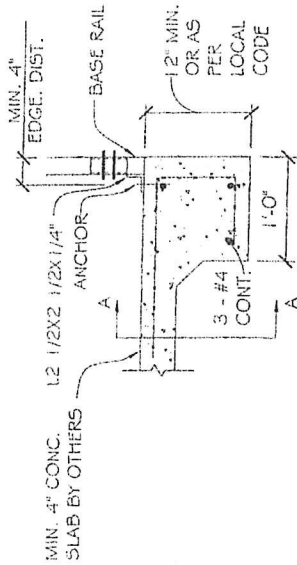
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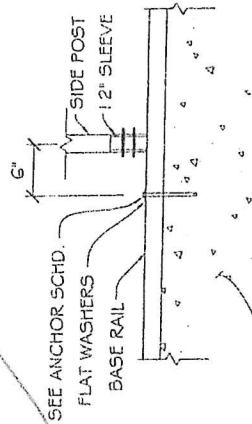
DATE SIGNED:

4/6/2012



ALTERNATE, FRAME
FLUSH W/ CONC.

(SCALE: NTS)



BASE ANCHOR
ON CONC. SLAB SECTION

(SCALE: NTS)

CONC. SLAB OR FOOTER W/ MIN. 12\"/>

SECTION A-A

(SCALE: NTS)

ANCHOR SIZE OPTION SCHEDULE

ANCHOR SIZE OPTION SCHEDULE					
CARPORT WIDTH	ANCHOR SIZE	ANCHOR LENGTH			TYPE
	WIND (MPH)	BASE ANCHOR	ALTERNATE ANCHOR		
	90-100				
20'	1/2"Ø	7'	5'	INSERT W/ EPOXY IN CONC. EXPANSION BOLTS WEDGE ANCHORS IN CONC.	

NOTE:

1. PROVIDE A MIN. OF (1) ANCHOR AT $\pm 6'$ FROM CENTER OF EACH POST
2. ALL ANCHORS SHALL BE A307 OR BETTER
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS



OWNER:
AMERICAN CARPORTS

LOCATION: **CALIFORNIA**

DRAWING NO.: **AMC-20**

DATE: **4/6/2012**

PROJECT NUMBER:

DRAWN BY: **JMS**

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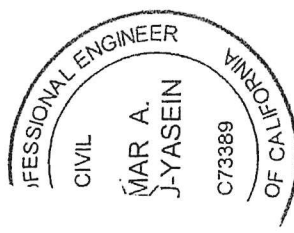
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SINCE 1998

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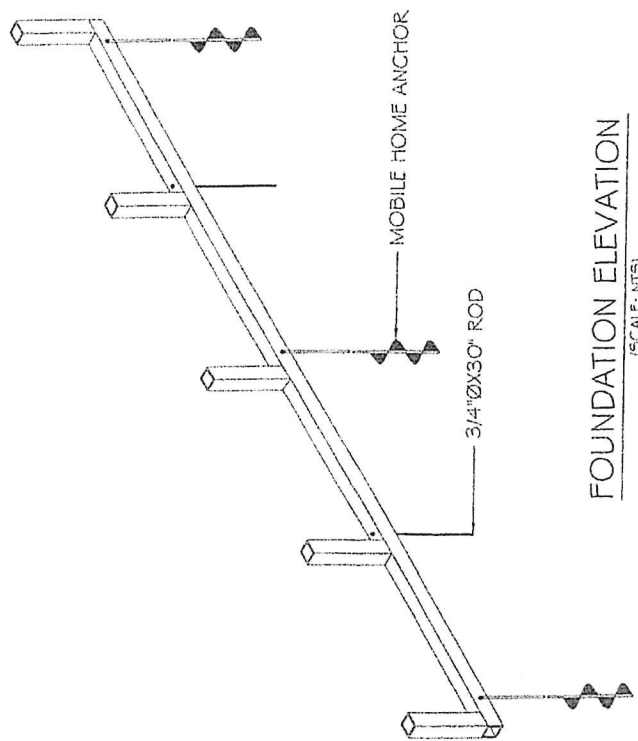
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DRAWING TITLE:
MOBILE HOME ANCHOR

SHEET NO.: **9 OF 9**



DATE SIGNED: **4/6/2012**



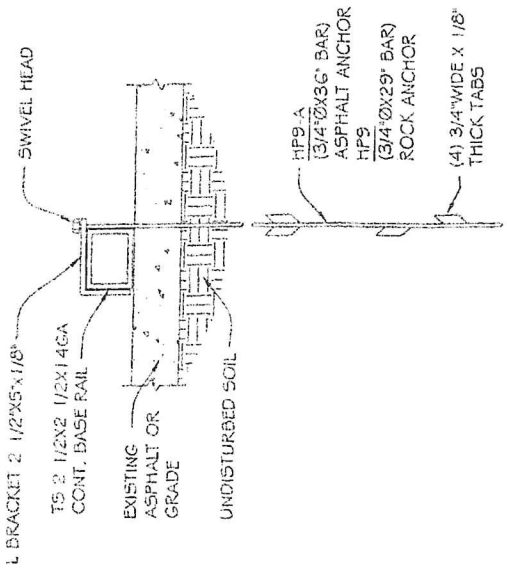
FOUNDATION ELEVATION
(SCALE: NTS)

- NOTES:
- MOBILE HOME ANCHORS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10'-0" C/C SPACING IN ANY DIRECTION.
 - ALL OTHER POSTS WITH NO MOBILE HOME ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"x30" L.G. ROD. RODS SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST PROVE PRIMER PAINT.
 - ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
 - CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

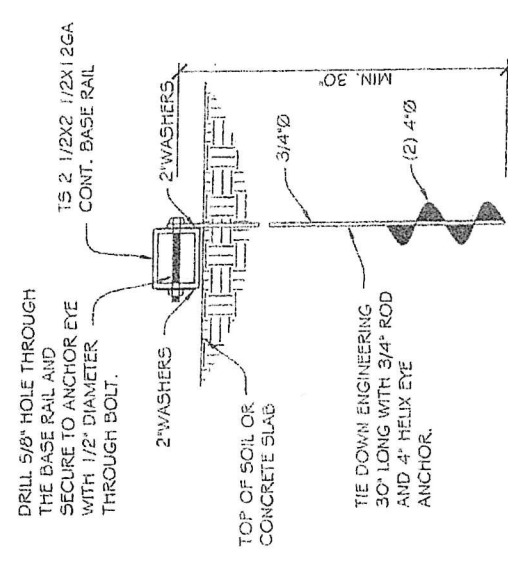
SOIL CLASSIFICATIONS:	
SOIL CLASS	SOIL DESCRIPTION
2	VERY DENSE #1 OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, COLLICHE, PRELOADED SILT AND CLAYS
3	MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL AND VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL.

HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2, 3, AND 4.

*TAKEN FROM HUD "STANDARD FOR INSTALLATION OF MOBILE HOMES"



OPTIONAL ASPHALT/ROCK ANCHOR DETAIL
(SCALE: NTS)



OPTIONAL MOBILE HOME ANCHOR FOR SAND/CLAY
(SCALE: NTS)

NOTE:
HELICAL ANCHORS ARE NOT TO BE USED IF DRIVING TORQUE INTO GROUND IS LESS THAN 150 FT-LBS OR DON'T MEET ONE OF THE FOLLOWING SOIL CLASSIFICATIONS.



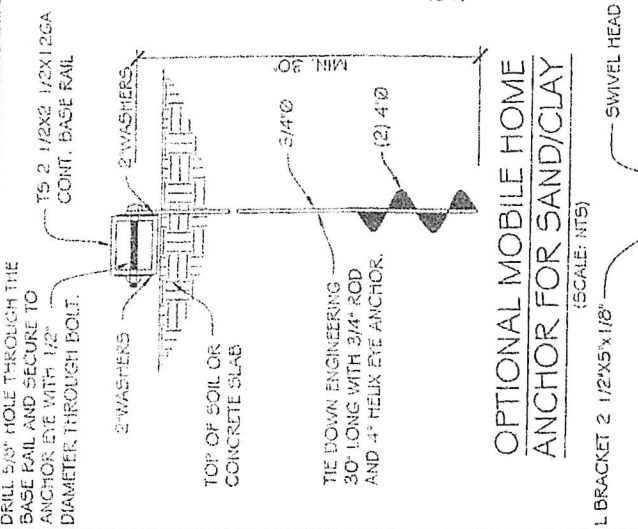
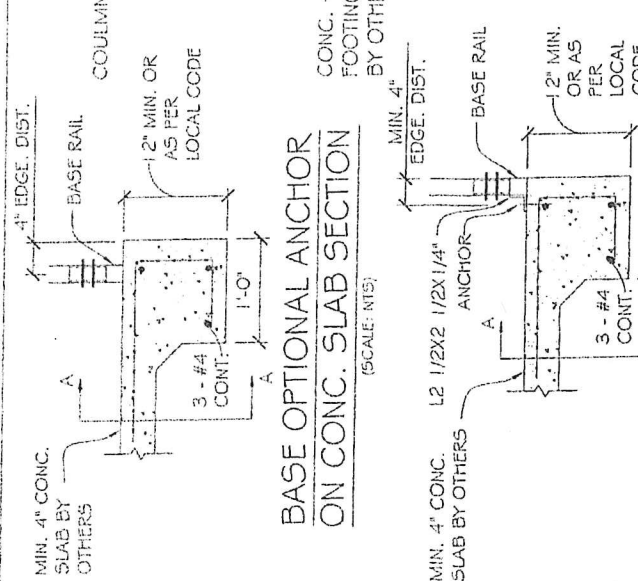
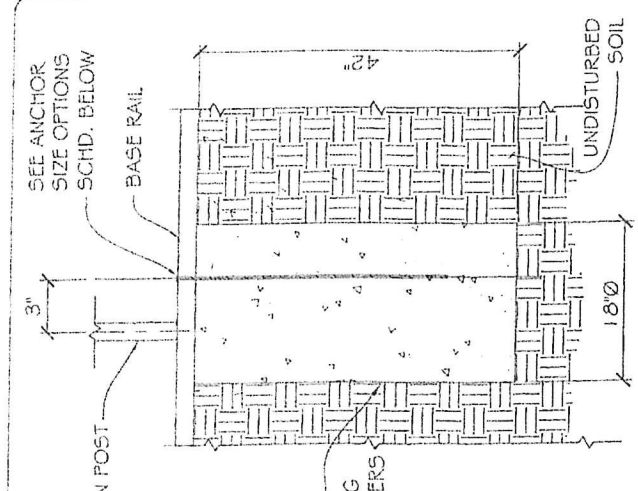
OWNER: AMERICAN CARPORTS
LOCATION: CALIFORNIA
DRAWING NO.: AMC-20
DATE: 4/6/2012
PROJECT NUMBER:
DRAWN BY: JMS
CHECKED BY: OA

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Fax: (419) 292-0955

DRAWING TITLE:
ANCHOR OPTIONS
SHEET NO.: 9 OF 9
SEAL:

PROFESSIONAL ENGINEER
CIVIL
IAR A.
-YASEIN
73389
F CALIFORNIA

DATE SIGNED: 4/6/2012



PIN ANCHOR DETAIL ON CONCRETE PIER FOOTING

NOTE:
ON LEVEL GRADE DIG A 1.8" HOLE 42" DEEP AT EACH ANCHOR POINT. REPOSITION BASE RAILS OVER HOLES AND DROP A GROUND ANCHOR THROUGH EACH HOLE IN BASE RAILS. FILL EACH HOLE WITH 2500 PSI CONCRETE

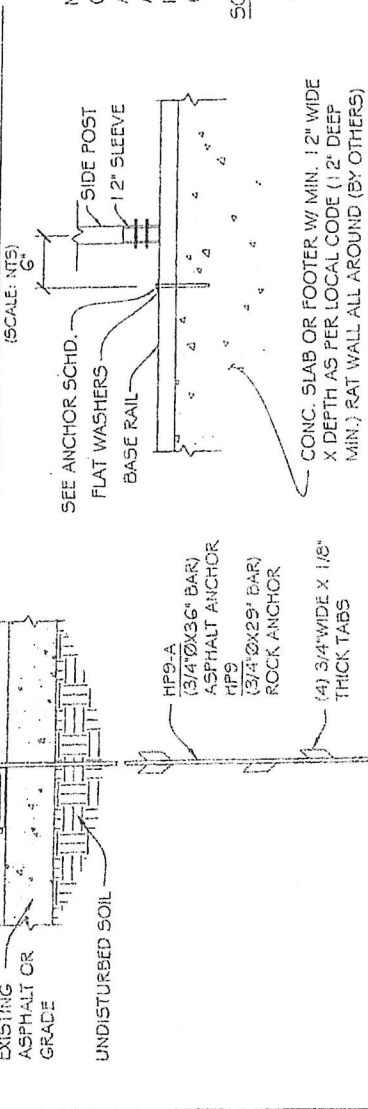
SOIL CLASSIFICATIONS:

SOIL CLASS	SOIL DESCRIPTION
2	VERY DENSE #1 OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, COLICHE, PRELOADED SILT AND CLAYS
3	MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL AND VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL

HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2, 3, AND 4.

*TAKEN FROM HUD "STANDARD FOR INSTALLATION OF MOBILE HOMES"

OPTIONAL ASPHALT/ROCK ANCHOR DETAIL



ANCHOR SIZE OPTION SCHEDULE

NOTE:
1: SEE SHT. 2 AND 6 FOR ANCHOR REQUIREMENTS
2: ASSUMED SOIL BEARING CAPACITY IS 1500 PSF
3: CONCRETE STRENGTH TO BE 2500 PSI AT 28 DAYS

ANCHOR SIZE	ANCHOR LENGTH	ANCHOR TYPE
20"	20"	THIRD, ROD EMBED IN CONC. INSERT W/ EPOXY IN CONC. EXPANSION BOLTS WEDGE ANCHORS IN CONC.
12"	7"	



OWNER:

AMERICAN CARPORTS

LOCATION:

CALIFORNIA

DRAWING NO.:

AMC-20

DATE:

4/6/2012

PROJECT NUMBER:

DRAWN BY:

JMS

CHECKED BY:

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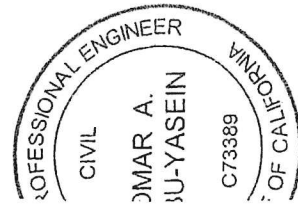
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ANCHOR OPTION
PIER FOOTER

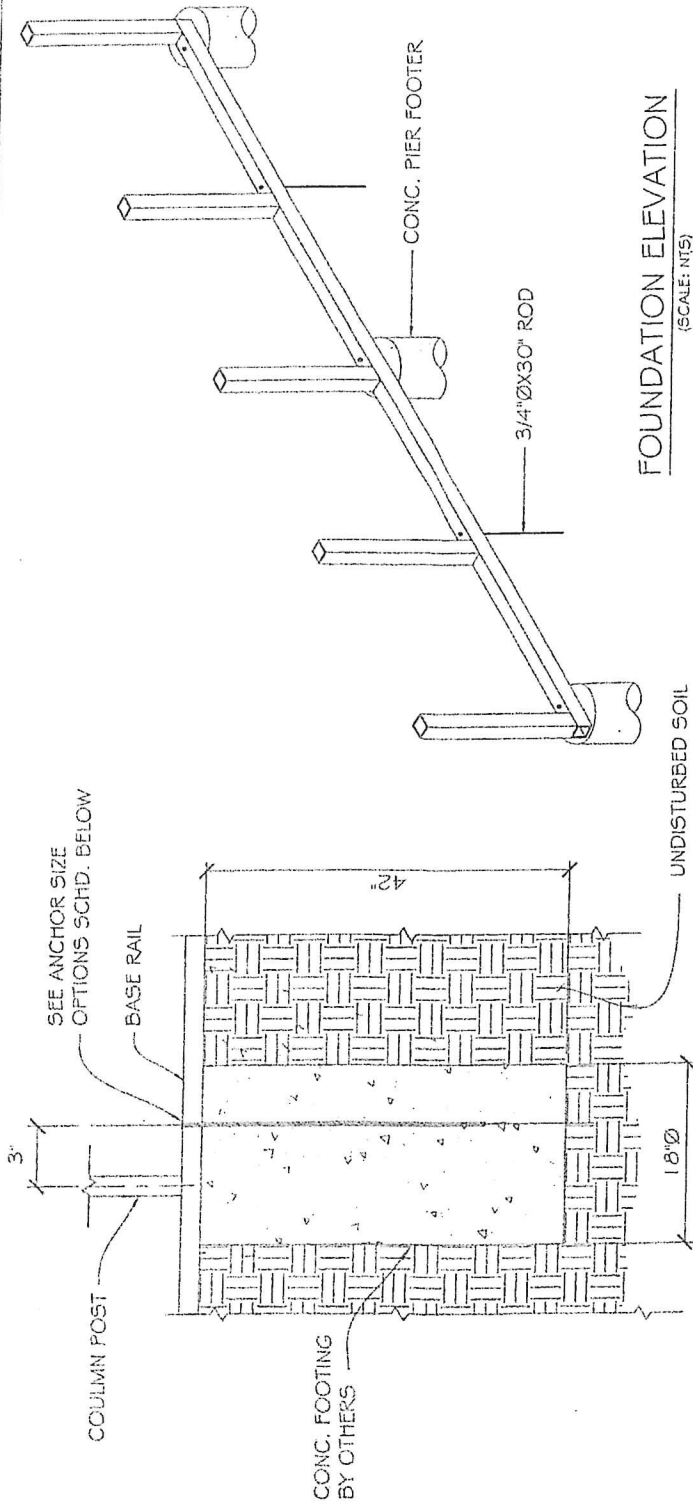
SHEET NO.:

9 OF 9

SEAL



DATE SIGNED: 4/6/2012



NOTES:

1. CONCRETE PIERS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10'-0" C/C SPACING IN ANY DIRECTION
2. ALL OTHER POSTS WITH NO CONCRETE PIER ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"X30" LG. ROD. RODS SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST PROVE PRIMER PAINT.
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

PIN ANCHOR DETAIL ON
CONCRETE PIER FOOTING
(SCALE: NTS)

NOTE:
ON LEVEL GRADE DIG A 18" HOLE 42" DEEP AT EACH ANCHOR POINT. REPOSITION BASE RAILS OVER HOLES AND DROP A GROUND ANCHOR THROUGH EACH HOLE IN BASE RAILS. FILL EACH HOLE WITH 2500 PSI CONCRETE

ANCHOR SIZE OPTION SCHEDULE

CARPORT WIDTH	ANCHOR LENGTH			TYPE
	ANCHOR SIZE	BASE ANCHOR	ALTERNATE ANCHOR	
20'	90-100	20'	20'	THRD. ROD EMBED IN CONC. INSERT W/ EPOXY IN CONC. EXPANSION BOLTS WEDGE ANCHORS IN CONC.
	1/2"	7'	5'	

AMERICAN STEEL Seeding me copy 4/11/10

CONCRETE SLAB FOUNDATION NOTES:

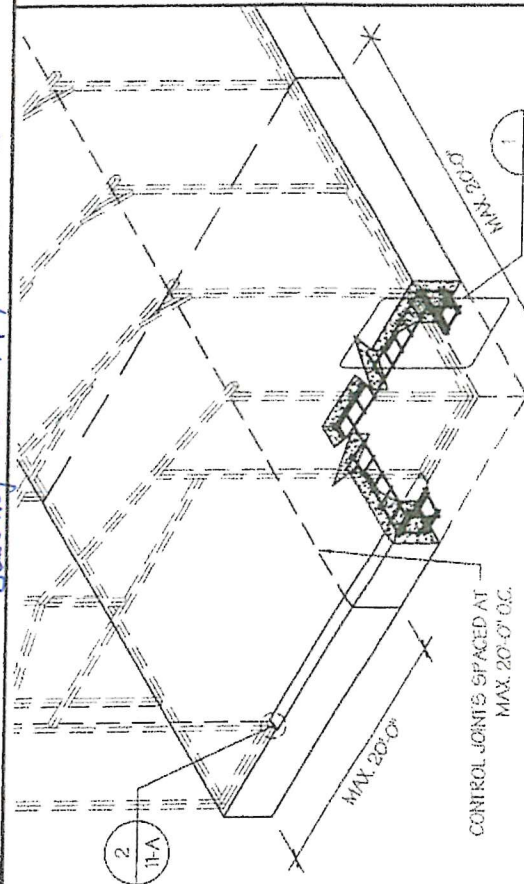
- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU D CAN BE USED.
- EITHER OPTION 1 'EDGE OFFSET' OR OPTION 2 'NOTCHED EDGE' DETAIL CAN BE USED.
- FOR OPTION 1 THE MIN. SLAB SIZE SHALL BE EQUAL TO THE OUTSIDE DIMENSIONS OF THE BUILDING PLUS 5" EACH DIRECTION.
- FOR OPTION 2 THE MIN. SLAB SIZE SHALL BE EQUAL TO THE SIDE DIMENSIONS OF THE BUILDING DIMENSIONS.
- CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNER OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL.
- CONCRETE ANCHORS CAN BE ANY ONE OF THE OPTIONS MENTIONED IN TABLE 11-A.1.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- CONTROL JOINTS SHALL BE PLACED 50' AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI @ 28 DAYS.

TABLE 11-A.1: CONCRETE SLAB ANCHOR SCHEDULE

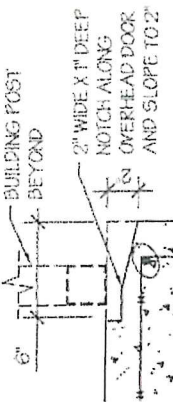
WIND SPEED (MPH)	ANCHOR SIZE
105 TO 140	1/2" Ø X 7"
135 TO 180	5/8" Ø X 7"

NOTES:

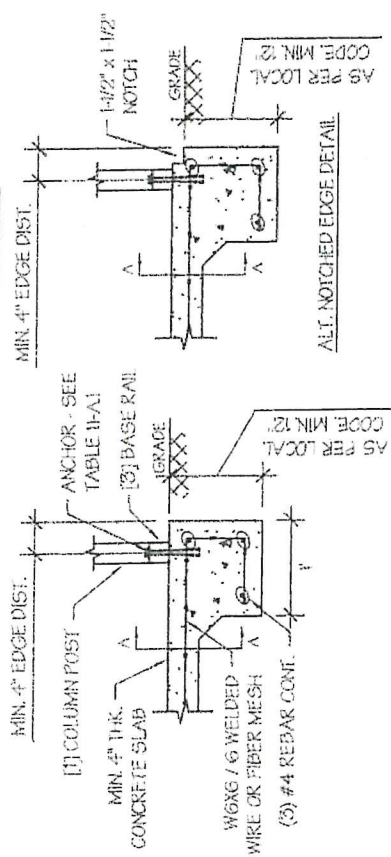
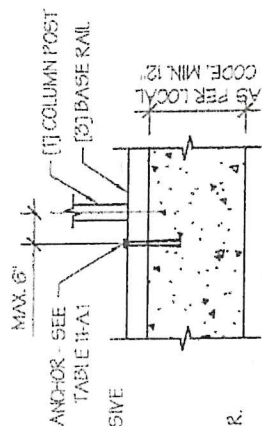
- EXPANSION ANCHORS, WEDGE ANCHORS OR ADHESIVE ANCHORS MAY BE USED.
- MIN. EMBEDMENT DEPTH TO BE 4".
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.
- ALL ANCHORS TO BE A307 EQUIVALENT OR BETTER.



CONCRETE SLAB FOUNDATION SCALE: NTS



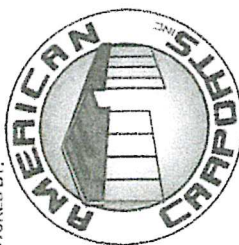
OVERHEAD DOOR NOTCH DETAIL 2 SCALE: NTS



OPTION 1: EDGE OFFSET DETAIL 1 SCALE: NTS

OPTION 2: EDGE FLUSH DETAIL 1 SCALE: NTS

MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL - STRUCTURAL

3911 Remittance Place, Suite B • Trukley, OH 43083
Tel: 419-292-1983 • Fax: 419-292-0936
www.aandengineering.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
LOCATION: STATE OF CALIFORNIA
PROJECT NO.: 233-15-0969
SHEET TITLE:

FOUNDATION OPTION 1:
CONCRETE SLAB

SHEET NO.: 11-A / 11

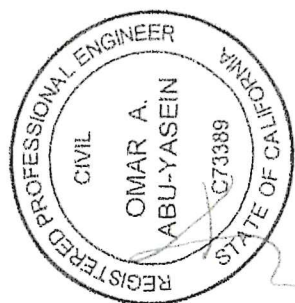
DRAWN BY: LAK DATE: 9/10/15

CHECKED BY: OAA DATE: 9/10/15

LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



DATE EXPIRES: 12/31/2016
DATE SIGNED: SEPT 11 2015

EXHIBIT A

Conditions of Approval Timmerman Conditional Use Permit File No. 052-071-006; Case No's. CUP 20-01

Conditions of Approval

1. The applicant shall line the roof run-off to a small depression retention area.
2. The applicant shall pay the application processing fees within 30 days of billing.

RESOLUTION NO. PC 145-2020



RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RIO DELL APPROVING THE TIMMERMAN CONDITIONAL USE PERMIT:

WHEREAS Adrian Timmerman has made application for a Conditional Use Permit (CUP) for a 600 square foot (30' x 20') steel accessory building on a vacant residential parcel; and

WHEREAS pursuant to Section 17.30.020 of the Rio Dell Municipal Code (RDMC) a Conditional Use Permit is required for the construction of a residential accessory building prior to the main building (residence); and

WHEREAS the City processed the application pursuant to Section 17.35.030 of the Rio Dell Municipal Code; and

WHEREAS the proposed project have been processed in accordance with the applicable provisions of the California Government Code and the California Environmental Quality Act (CEQA); and

NOW, THEREFORE, BE IT RESOLVED that based on information provided by the applicant, staff's analysis and public testimony the Planning Commission of the City of Rio Dell finds that:

- The proposed use is allowed within the Urban Residential zone with a Conditional Use Permit and complies with all other applicable provisions of Rio Dell Municipal Code; and
- The proposed use is consistent with the General Plan and any applicable specific plan; and
- The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity; and
- The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints; and
- Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located; and

● Based on the proposed project, the project is Categorically Exempt pursuant Class 3, Section 15303 of the CEQA Guidelines, Title 14, Chapter 3 of the California Code of Regulations. Section 15303 applies to the construction or conversion of small structures.

I HEREBY CERTIFY that the forgoing Resolution was PASSED and ADOPTED at a regular meeting of the Planning Commission of the City of Rio Dell on March 24, 2020 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Nick Angeloff, Chairperson

ATTEST:

I, Karen Dunham, City Clerk for the City of Rio Dell, State of California, hereby certify the above and foregoing to be a full, true and correct copy of Resolution No. PC 145-2020 adopted by the Planning Commission of the City of Rio Dell on March 24, 2020.


Karen Dunham, City Clerk, City of Rio Dell

675 Wildwood Avenue
Rio Dell, CA 95562
(707) 764-3532



For Meeting of: April 28, 2020

To: Planning Commission

From: Kevin Caldwell, Community Development Director 

Through: Kyle Knopp, City Manager

Date: April 20, 2020

Subject: Northwestern 101/Marathon 101 (Formerly Hakuna Matata)
Cannabis Activities Conditional Use Permit & Design Review
File No. 205-111-044 & 045; 2015 171-013 & 018;
Case No's. CUP-CCLUO-20-01 & CUP-DR-20-01

Recommendation:

That the Planning Commission:

1. Receive staff's report regarding the proposed Conditional Use Permit;
2. Open the public hearing, receive public input, close the public hearing and deliberate;
3. Assuming that public testimony is substantially in support of the proposal, find that:
 - (a) The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this title and all other City ordinances, including the applicable "Guiding Principles and Design Concepts" in Section 17.250.050(5) Rio Dell Municipal Code (RDMC);
 - (b) The proposed use is consistent with the general plan and any applicable specific plan; and

(c) The proposed design, location, size, landscaping and operating characteristics of the proposed activity are compatible with and will enhance the character of the neighborhood and community and future land uses in the vicinity; and

(d) The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of existing or anticipated buildings on adjoining and nearby properties; and

(e) The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints;

(f) The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation; and

(g) Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located; and

(h) The Conditional Use Permit has been processed in accordance with the applicable provisions of the California Government Code and the California Environmental Quality Act (CEQA);

4. Adopt Resolution No. PC 146-2020 approving the Conditional Use Permit, subject to the Conditions of Approval, Exhibit A.

Background

The Applicant, Northwestern 101, LLC (formerly Hakuna Matata Collective, LLC), is requesting a Conditional Use Permit (CUP) to permit 25,340 square feet (sf) (canopy area) of mixed-light commercial cannabis cultivation. The cultivation would occur within seven (7) greenhouses built to a maximum of 42,400 sf. On-site processing (drying and trimming) is also proposed to occur within the head house which is attached to and included in the square footage for the greenhouse. The headhouse will be divided into separate areas, including office space, utilities, processing, shipping, and storage areas.

Development on-site would be phased. The estimated project phases are as provided below:

- ♦ Phase I: Construction of Greenhouses #1 and #2, headhouse, parking lot, landscaping, and on-site Septic.

- ♦ Phase II: Construction of Greenhouses #3 and #4 (planned to commence approximately 6 months after completion of Phase I).
- ♦ Phase III: Construction of Greenhouses #5, #6, and #7 (planned to commence approximately 8 months after completion of Phase II).

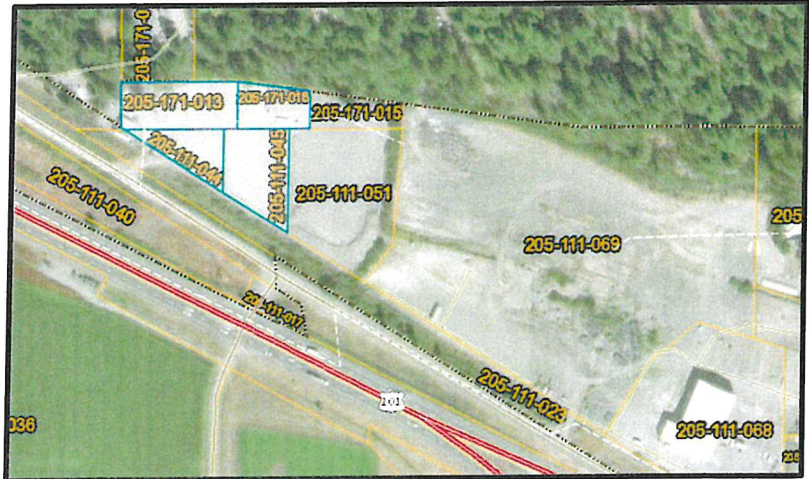


Figure 1

Required Findings/Staff Analysis

Section 17.35.030 Rio Dell Municipal Code (RDMC) Conditional Use Permits.

1. Zoning Consistency

(a) The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this title and all other City ordinances;

Land Use: The property is zoned Industrial Commercial (IC). The purpose of the Industrial Commercial zone is to provide for industrial and commercial uses. Section 17.30.195 the City's Commercial Cannabis Land Use Ordinance (CCLUO), allows commercial cannabis activities at the former Eel River Sawmill site, now known as the Humboldt Rio Dell Business Park with a Conditional Use Permit (CUP).

All cannabis applications for the required Conditional Use Permit requires the submittal of a completed application form, a Site Plan and a Plan of Operations which is required to include the following:

- A complete project description including the proposed use(s), hours and days of operation, number of employees, and the duration (temporary, seasonal or permanent) of the operation.
- The number of daily and/or weekly incoming and outgoing deliveries
- A Security Plan that addresses the cultivation, storage, processing of any cannabis, including but not limited to any video monitoring and commercial alarm systems.

- A Waste Management/Disposal Plan shall be submitted describing any produced wastes, including by-products, recycling, reusing, recovery, storage, diversion and handling and disposal.
- A description of the storage or use of any, fertilizers, pesticides, fungicides, rodenticide, or herbicides.
- A description of any discharge or emissions the operation will generate.
- A description of any noise level increase as a result of the operation.
- A description of the operation's use of public facilities such as roads, water or sewer systems.
- A description of any proposed water source, storage, conservation and use; drainage, runoff and erosion control; watershed and habitat protection.

The Plan of Operations is included as **Attachment 1**. As the Commission is aware, the State must approve all cannabis activities and issue a State License prior to the operation commencing.

The buildings (greenhouses) must be evaluated for compliance with the development standards of the Industrial Commercial (IC) zone, including setbacks, lot coverage, building height, parking, design review, landscaping etc. as part of the Design Review approval.

The proposed cannabis activities are allowed in the Industrial Commercial (IC) zone with a Conditional Use Permit provided the activities comply with the pertinent Performance Standards in Chapter 17.30.195 of the Rio Dell Municipal Code (RDMC).

Performance Standards

Cultivation

Again, the applicant is proposing 25,340 square feet (sf) (canopy area) of mixed-light commercial cannabis cultivation within seven (7) greenhouses built to a maximum of 42,400.

Section 17.30.195(7)(b)

Greenhouse and Mixed-Light commercial cultivation of cannabis shall be conducted entirely within a fully enclosed, secure and lockable greenhouse and shall be conditionally permitted in the Industrial Commercial (IC) and Natural Resources (NR) designations located in the

Sawmill Annexation area, and the Rural (R) designation located on the Dinsmore Plateau area pursuant to the "Greenhouse" and "Mixed-Light" cultivation area provisions described in Table 8.1 and subject to the conditions and limitations set forth in this Section and as deemed appropriate by the Planning Commission and/or the City Council.

The City's limits for greenhouse and mixed-light is based on the State's limits. The applicant will be required to get a "Medium" (22,000 square feet) State license and backfill with a smaller license in order to cultivate the proposed 25,340 square feet of canopy.

As indicated above the greenhouses must be fully enclosed, secure and lockable. The project as proposed complies with this requirement and the project has been conditioned accordingly. **Please refer to Exhibit A.**

Performance Standards for all Cultivation Operations:

- (a) No surface water withdrawals shall be allowed as part of any cultivation operations.
- (b) No Timberland Conversion Permits or Exemptions as approved by the California Department of Forestry and Fire Protection (CAL-FIRE) shall be used to facilitate the cultivation of cannabis.
- (c) The area of cannabis cultivation shall be located as shown on the application site plan, set back at least 50 feet from any property line in the Natural resource (NR) zone and 1000 feet from any School. Cannabis cultivation is declared to be development, subject to compliance with Section 17.30.110, Environmentally Sensitive Habitat Area's (ESHA's). For purposes of this section, where enhanced, reduced, or modified watercourse or wetland setbacks have been agreed to by the operator and the RWQCB under enrollment pursuant to NCRWQB Order No. 2015-0023 and/or preparation of a Water Resources Protection Plan, these may control and supersede any setback applied pursuant to Section 17.30.110.
- (d) Maintain enrollment in Tier 1, 2 or 3, certification with the North Coast Regional Water Quality Control Board Order No. 2015-0023, if applicable, or any substantially equivalent rule that may be subsequently adopted by the City of Rio Dell or other responsible agency.
- (e) For cultivation areas for which no enrollment pursuant to NCRWQB Order No. 2015-0023, is required by that Order, compliance with the standard conditions applicable to all Tier 1 dischargers.
- (f) The storage or use of any fertilizer, pesticide, fungicide, rodenticide, or herbicide shall be in compliance with the manufacture's recommendations and regulations administered by the

State Department of Pesticide Regulation. Hazardous materials and wastes from agricultural businesses are regulated by the Humboldt County Environmental Health Division, which administers the Hazardous Materials program as one of the Certified Unified Program Agencies (CUPA). This includes the application, inspection, enforcement, and reporting under the program requirements and standards set by the California Environmental Protection Agency (CalEPA).

- (g) Trucked water shall not be allowed as the primary water source. Water is to be sourced locally (on-site), except for emergencies. For purposes of this provision, “emergency” is defined as: “a sudden, unexpected occurrence demanding immediate action.”
- (h) Carbon filter fans or equivalent superior filters/scrubbers shall be required to eliminate odor discharges to neighboring properties from cultivation and processing facilities.
- (i) A Waste Management/Disposal Plan shall be submitted describing any produced wastes, including by-products, recycling, reusing, recovery, storage, diversion and handling and disposal.
- (j) Those cultivators using artificial lighting for mixed-light cultivation shall shield greenhouses so that little to no light escapes. Light shall not escape at a level that is visible from neighboring properties between sunset and sunrise. Should the City receive complaints that the lighting is out of alignment or not complying with these standards, within ten (10) working days of receiving written notification that a complaint has been filed, the applicant shall submit written verification that the lights’ shielding and alignment has been repaired, inspected and corrected as necessary.
- (k) Generators are only allowed as an emergency back-up power source. The noise produced by a generator used for cannabis cultivation shall not be audible from neighboring residences. The decibel level for generators at the property line shall be no more than 60 decibels.
- (l) Fuel shall be stored and handled in compliance with applicable state and local laws and regulations, and in such a way that no spillage occurs.
- (m) Electricity for Indoor and Mixed Light cultivation activities shall be provided by any combination of the following:
 - (i) On-grid power with 42 percent renewable source.

- (ii) Onsite zero net energy renewable source providing 42 percent of power.
- (iii) Purchase of carbon offsets for any portion of power above 58 percent not from renewable sources.
- (iv) Demonstration that the equipment to be used would be 42 percent more energy efficient than standard equipment, using 2014 as the baseline year for such standard equipment.

Purchase of carbon offset credits (for grid power procured from non-renewable producers) may only be made from reputable sources, including those found on Offset Project Registries managed the California Air Resources Board, or similar sources and programs determined to provide bona fide offsets recognized by relevant state regulatory agencies.

- (n) Comply with all federal, state, and local laws and regulations applicable to California Agricultural Employers, including those governing cultivation and processing activities.
- (o) Comply with any special conditions applicable to that permit or parcel which may be imposed as a condition of the required Conditional Use Permit.

The applicants are requesting an exception to allow the use of generators for Phase 1. Staff is supportive of the request provided the following conditions are incorporated.

1. The generator(s) shall be enclosed to minimize noise levels.
2. Noise levels shall not exceed 60 decibels at any property line.
3. The generator(s) shall be Tier 4.
4. The applicant shall submit a signed agreement with PG&E regarding the installation of the needed infrastructure/power.
5. The applicant shall enroll in the County Hazardous Waste program. Hazardous materials and wastes from agricultural businesses are regulated by the Humboldt County Environmental Health Division, which administers the Hazardous Materials program as one of the Certified Unified Program Agencies (CUPA). This includes the application, inspection, enforcement, and reporting under the program requirements and standards set by the California Environmental Protection Agency (CalEPA). The applicant shall provide evidence of enrollment.
6. The use of the generator(s) is limited to 180 days.
7. Phase II will not be allowed to commence until adequate public (PG&E) power is provided to the site.

The proposed headhouse will include office space, storage, drying/curing area and a processing (trimming) area.

Other than the use of the temporary generator(s), the project has been conditioned on compliance with the above operational Performance Standards. In addition, the project is conditioned to comply with all State regulations including security provisions, operational standards, the storage of materials, including fertilizers pesticides, fungicides, packaging and labeling. **Please see Exhibit A.**

As previously discussed the buildings (greenhouses) must be evaluated for compliance with the development standards of the Industrial Commercial (IC) zone, including setbacks, lot coverage, building height, parking, design review, landscaping etc. as part of the Design Review approval.

Industrial Commercial (IC) Development Standards

Table 17.20.110 of the RDMC identifies the setback, lot coverage/open space and building height requirements.

The front yard required setback is 10 feet and all other required setbacks are zero (0) unless abutting a residential zone. The project as proposed complies with the required setbacks.

The minimum open space requirement is 10%. The parcels total 3.24 acres or 141,135 square feet. The proposed greenhouses total 42,400 square feet. The open space will be approximately 30%. The project complies with the required open space of 10%.

The maximum building height allowed in the IC designation is four (4) stories or 65 feet. The proposed greenhouses will be approximately 28 feet in height. The greenhouses comply with the maximum building height requirements.

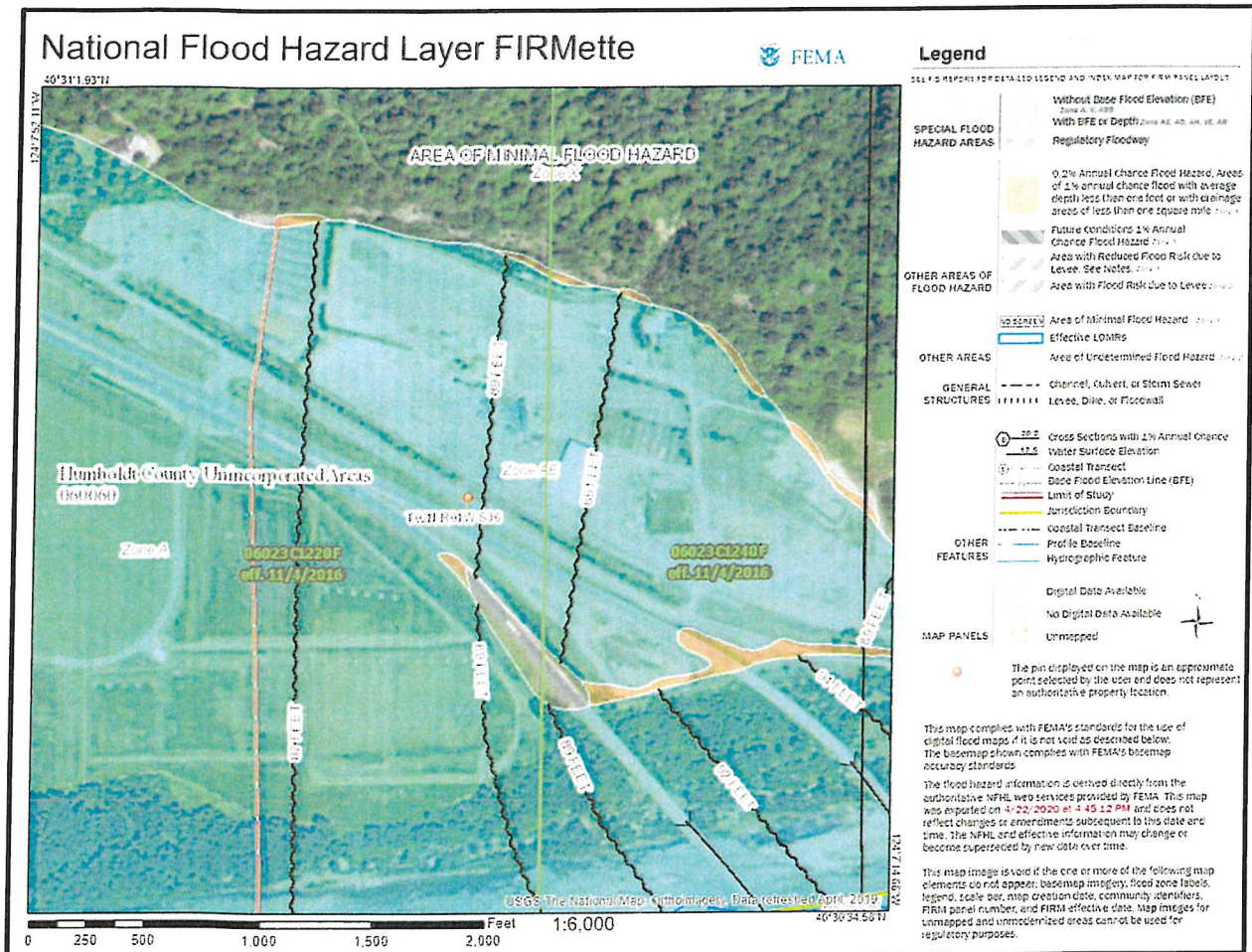
Flood Zone: The parcel is located within the 100-year flood zone according to FEMA's Flood Insurance Rate Map (FIRM), Panel No. 1220.

Section 17.30.140 of the RDMC requires that if a proposed building site is located in a flood zone, any proposed new construction or substantial improvement, including manufactured and mobile homes, must:

- (a) Be designed or modified and anchored to prevent flotation, collapse or lateral movement of the structures;
- (b) Use construction materials and utility equipment that are resistant to flood damage; and
- (c) Use construction methods and practices that will minimize flood damage.

In addition, to our local regulations, the project is also subject to FEMA's flood regulations (Title 44 Code of Federal Regulations, Section 61.7 and 61.8) which require that the first floor of the structure be located one foot above the Base Flood Elevation (BFE). As such a Flood Elevation

Certificate is required, this identifies among other site features, the BFE and the elevation of the floor of the buildings. Staff has conditioned the project accordingly. Please refer to Exhibit A.



Parking: Section 17.30.180 of the Rio Dell Municipal Code (RDMC) identifies Parking and Loading requirements, including the required number of spaces, landscaping, lighting, surface requirements, striping, wheel stops, number of spaces, handicap spaces, bicycle and motorcycle parking and loading spaces. It must be noted that the Planning Commission previously identified the parking demand at one space for every 800 square feet for the Wendt/Greenheart Enterprises Conditional Use Permit. That project was different in that the building proposed was a metal building that could be used for other purposes. Greenhouses are not identified in the parking regulations. Warehouses require one space for every 500 square feet.

Applying the one space for 800 square feet would require 53 spaces. The applicant has requested a Parking exception based on levels of anticipated use pursuant to Section 17.30.220(5) of the RDMC. Below is a portion of the Plan of Operation regarding parking:

Section 17.30.220 of the RDMC specifies the City's parking standards, which requires one parking space per 500 square feet of development, as well as handicap, bicycle, and motorcycle parking and loading spaces. Based on the requirements of Section 17.30.220 of the RDMC, approximately 85 parking spaces would be required for the Site; however, based on the nature of the proposed use an exception to the parking standard is sought. The proposed operation would generally not be open to the public and on most days, no visitors other than the property owners, Applicant, employees, or delivery personnel would be coming to the Site. However, one tour per quarter (as discussed above under Section 2.2) is estimated. Tours would arrive in a single vehicle (van or bus). As discussed under Section 2.2 above, at peak shift, 15 total employees are anticipated on-site at one time. To ensure adequate parking on-site, the Applicant is proposing one parking space per employee plus 3 extra spaces, as well as the required number of handicap, bicycle, and loading spaces as required under the RDMC. [No motorcycle spaces are required as the proposed number of vehicle spaces does not exceed 20 spaces.]

Staff is supportive of a parking exception, but recommends that at least 25 spaces, plus on handicap space be provided. Staff has modified the site plan to provide the recommended spaces.

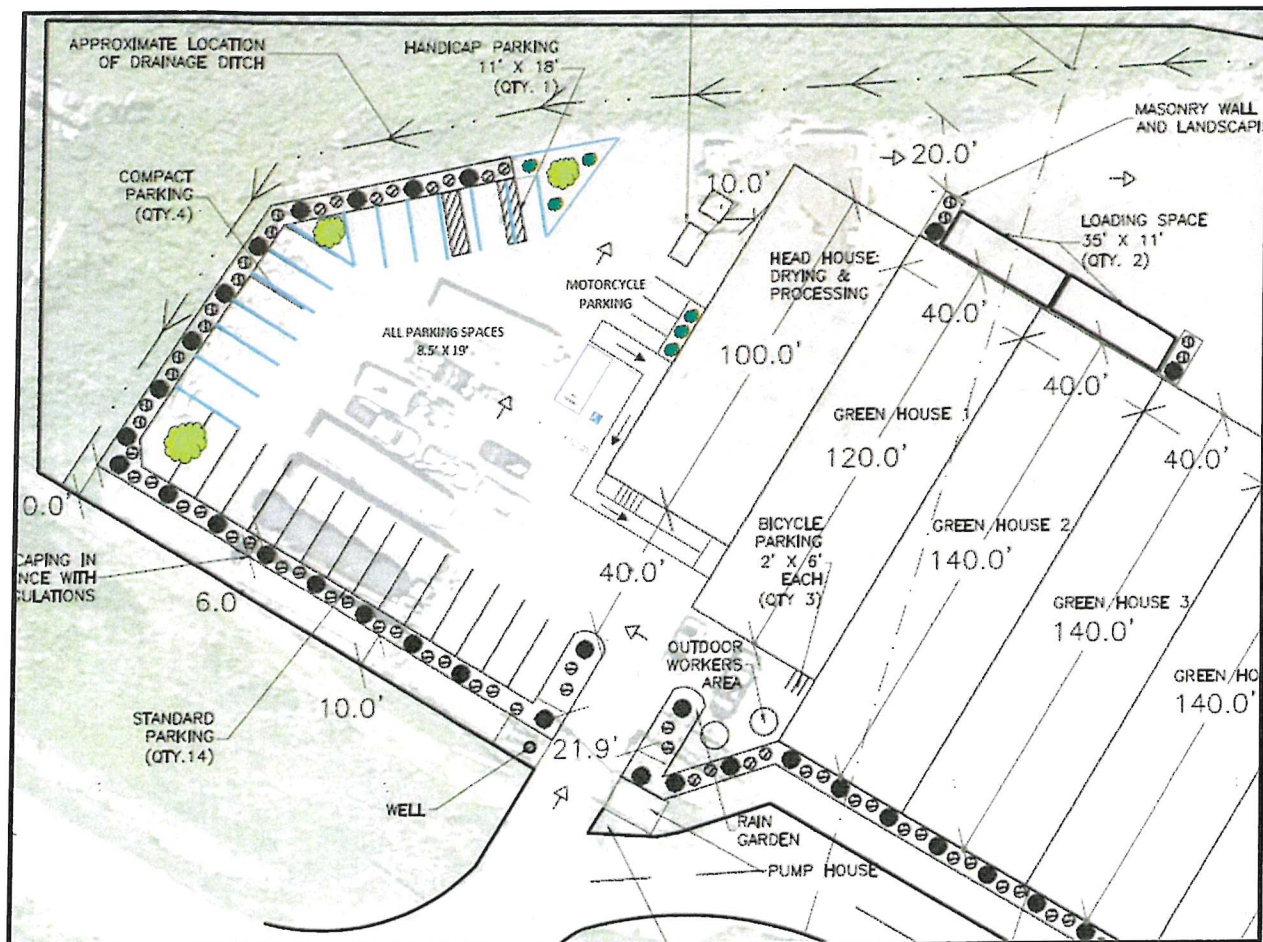


Figure 3

The Rio Dell Municipal Code (RDMC) requires one disabled or accessible space per 25 parking. The handicap space must be permanently signed and the space painted with the international symbol of accessibility. Staff has conditioned the project accordingly. **Please refer to Exhibit A.**

Section 17.30.180(6) of the RDMC identifies the minimum dimensions of parking spaces and aisles. The applicant is proposing perpendicular spaces. The proposed parking space dimensions, 19' x 8.5', and aisle dimensions, 25', complies with the City's parking regulations. The applicant proposed four (4) compact spaces (7.5' x 16"). Although the code allows it, staff is recommending that all spaces be standard spaces, 8.5' x 19'. Staff has conditioned the project accordingly. **Please refer to Exhibit A.**

Section 17.30.180(7)(a) of the RDMC requires all parking spaces, access drives and maneuvering areas to be improved with and permanently maintained with an all-weather durable asphalt, concrete or comparable surface as required by the Director of Public Works. Almost the entire site is paved. Staff has included as an operational condition that the paving be permanently maintained in good condition. **Please refer to Exhibit A.**

Section 17.30.180(8) of the RDMC requires that the parking spaces be clearly delineated with white 4-inch-wide lines and that the stripping be continuously maintained in a clear and visible manner. The project has been conditioned accordingly. **Please refer to Exhibit A.**

Section 17.30.180(9) of the RDMC requires concrete curbing at least 6 inches in height and 6 inches wide around the perimeter of the parking and landscaped areas. The curbing is allowed to have breaks in it to allow stormwater to pass. The applicant shall submit Improvement Plans identifying the required curbing. The project has been conditioned accordingly. **Please refer to Exhibit A.**

Section 17.30.180(10) of the RDMC identifies driveway and access requirements. The purpose of the driveway provisions is to limit the number of driveways to avoid potential conflicts with pedestrians, bicyclist and vehicles. The number of access drives per parcel shall be the minimum number required to serve the intended use of the parcel. The project as proposed does not create potential conflicts with pedestrians, bicyclist and vehicles. The project has been conditioned to provide an ADA approved (Chapter 11B of the California Building Code) path of travel from Northwestern Avenue to the proposed greenhouses. The project has been conditioned accordingly. **Please refer to Exhibit A.**

Section 17.30.180(10)(b) of the RDMC requires that each access driveway be located a minimum of 50 feet from the nearest intersection, as measured from the centerline of the access road driveway to the centerline of the nearest travel lane of the intersecting street, unless a lesser or greater distance is approved or required by the Director of Public Works. The driveway (access point) is existing and complies with this regulation.

Section 17.30.180(11)(b) of the RDMC requires that one-way driveways be a minimum of 16 feet wide and two-way driveways be a minimum of 25 feet wide. The current width of the

driveway at the property line is 21'-9". The applicant is proposing this to be a one-way access point. Traffic would go around the proposed greenhouses and exit onto the existing 25' right of way. The project as proposed does comply with the 16' minimum width for one-way access.

Sections 17.30.180(12), (13) and (14) of the RDMC identifies parking area landscape requirements for parking lots containing 3 spaces or more. Landscaping has to be provided throughout the parking lot as a combination of ground cover, shrubs and trees. The landscaping plan does incorporate the use of ground cover including shrubs and trees. Staff is recommending that the project be conditioned to require use of low water landscaping and submit a Landscaping Plan that incorporates the use of ground cover, shrubs and trees. **Please refer to Exhibit A.**

Section 17.30.180(13)(i) requires a six-foot landscaping strip between the parking area and the street, curb, gutter and sidewalk. The property does not have direct frontage on Northwestern Avenue.

Section 17.30.310 et. seq. requires the construction of curb, gutter, sidewalks and street improvements as conditions of approval of an entitlement permit. This is consistent with a number of Goals and Policies of the Circulations Element, including Policies 3-1 and 3-2, requiring pedestrian and bicycle improvements. These regulations and policies are consistent with AB 1328, Complete the Streets legislation and the United States Department of Transportation Policy Statement on bicycle and pedestrian improvements. The project has been conditioned to require curb, gutter, sidewalks along the frontage of Northwestern Avenue, parallel to the site and along the driveway into the site. The applicant has requested that these improvements be phased. Staff has no objection to phasing these improvements. However, staff is recommending that curb, gutters and sidewalks along the access driveway and 25' in each direction along Northwestern Avenue be done as Phase 1. The required improvements shall be identified on the required Improvement Plans. The project has been conditioned accordingly. **Please refer to Exhibit A.**

Section 17.30.180(12)(a)(iii) of the RDMC encourages on-site stormwater detention/retention, pollutant cleansing and groundwater recharge. In addition, the City's Open Space and Conservation Element, Policies CO 5.2-7 and CO 5.6-2 require the incorporation of detention/retention facilities and bio swales. It is the City's policy that there is no net increase in stormwater runoff during a 25-year storm event as a result of a project.

As discussed earlier almost the entire site is paved. No additional impervious areas will be created by the proposed project. As such, there will be no increase in stormwater runoff. However, the drainage in this area of Northwestern Avenue is problematic during larger storm events, resulting in flooding a portion of the roadway and the driveway access point.

There are existing drainage ditches (retention areas) that run parallel with Northwestern Avenue between Northwestern Avenue and the railroad tracks. There is a failed 12" corrugated

metal culvert going under the driveway connecting the two ditches (retention areas). These ditches were historically maintained by the former mill. This retention area has not been maintained since around 2003 when the mill closed. Staff is recommending that the project be conditioned to require the applicant to replace the existing failed culvert with an 18" HDPE culvert and grub the bottom channel and sides of ditches to accommodate additional stormwater storage. Staff recommends that the northerly ditch be excavated to accommodate an additional 10,000+/- gallons, which will require the removal of approximately 50 cubic yards. In addition, staff recommends the southerly ditch be excavated to accommodate an additional 20,000+/- gallons, which will require the removal of approximately 100 cubic yards. The project has been conditioned accordingly. **Please refer to Exhibit A.**

Section 17.30.180(13)(a) of the RDMC requires that parking areas be screened from streets and adjoining properties and contains the following perimeter parking landscaping requirements:

(i) A proposed parking area adjacent to a public street shall be designed with a landscaped planting strip between the street right-of-way and parking area with a minimum depth of 6 feet.

(ii) Landscaping within the planting strip shall be designed and maintained to screen cars from view from the street to a minimum height of 18 inches, but shall not exceed any applicable height limit for landscaping within a setback.

(iv) Trees that reach a mature height of at least 20 feet shall be provided within the planting strip in addition to trees within the parking lot interior required by Subsection (a)(v). Trees types shall have root systems that will not extend beyond the planting area.

(v) Plant materials, signs, or structures within a traffic safety sight area of a driveway shall comply with Section 17.30.090(1) (Corner Lots – Sight Distance).

The project site does not front on a public street. However, the applicant is proposing a landscape strip along the frontage of the majority of the parcel.

Section 17.30.180(14) of the RDMC requires that 10% of the gross area of the parking lot be landscaped. The parking area is approximately 5,500 square feet. Accordingly, about 550 square feet of landscaping within or adjacent to the parking area is required. The applicant is proposing approximately 2,400 square feet of landscaping. The proposed landscaping exceeds the required area to be landscaped.

In addition, pursuant to Section 17.30.180(14)(a) of the RDMC, trees that reach a minimum height of twenty (20) feet are required within or adjacent to the parking lot at a minimum ration of one (1) tree for every five (5) parking spaces. Although the Landscaping Plan identifies a number of trees, it's difficult to tell exactly how many are proposed and what their mature height will be. As such, staff has conditioned the project to require the Landscaping Plan to clearly identify requisite trees. **Please see Exhibit A.**

Pursuant to Section 17.30.180(15) of the RDMC, outdoor lighting fixtures are limited to a maximum height of fifteen (15) feet and the fixtures must be directed downward and away from adjoining properties and public rights-of-way, so that no on-site lighting directly illuminates adjacent properties. Currently there are no lighting fixtures identified in the parking area. However, staff is recommending that some lighting be provided for security purposes. The project has been conditioned to require the applicant to submit a parking lot lighting plan. Security lights are proposed at the ends of each greenhouse, including the headhouse. The project is conditioned so that each light fixture be LED and be directed downward and away from adjoining properties and public rights-of-way and so that no on-site light fixture directly illuminates adjacent properties. **Please see Exhibit A.**

Section 17.30.180(21) of the RDMC identifies the number of required loading spaces. Industrial and manufacturing uses are required to provide 1 loading space for 5,000 to 40,000 square feet of gross floor area. Loading spaces must be at least 11' x 35' and have at least 14 feet of vertical clearance. The site plan identifies two loading spaces behind greenhouses #1 and #2. The project as proposed complies with the required number of loading space.

Loading areas are to be screened with a combination of dense landscaping and solid masonry walls with a minimum height of six feet. Although the site plan does show proposed screening, there is an exception to the location and screening requirements where the Community Development Director in consultation with the Director of Public Works may modify these requirements. Because the loading spaces are screened by the greenhouses from public view, staff is not recommending any additional screening. The loading areas must be striped and identified for "loading only" and the striping and notation must be continuously maintained in a clear and visible manner. The project is conditioned accordingly. **Please refer to Exhibit A.**

Section 17.30.300 includes the City's sign regulations. The project has been conditioned to require compliance with the sign regulations. **Please see Exhibit A.**

Based on the submitted information, including the Plan of Operation, and the recommended conditions of approval, staff believes the proposed uses are consistent with the City Zoning Regulations.

Design Review

Section 17.25.050 *et. seq.* for the RDMC contains the Design Review Regulations. The Design Review Regulations apply to new buildings and/or structures. The Planning Commission is required to review and approve, conditionally approve, or deny Design Review applications using the guiding principles and design concepts, application review process, and findings identified in Section 17.25.050(8) of the RDMC. Below are the Guiding Principles and Design Concepts:

- To encourage high quality land/site planning, architecture and landscape design;

- To ensure physical, visual, and functional compatibility between uses: and
- To ensure proper attention is paid to site and architectural design, thereby protecting land values.

As indicated above the project is also subject to the required Design Review findings found in Section 17.25.050(8) of the RDMC. The required findings are as follows:

*(1) The proposed project is consistent with the objectives of the General Plan, complies with applicable Zoning regulations, Specific Plan provisions, Special Planning Area provisions, and is consistent with the applicable "Guiding Principles" and "Design Concepts" in **Section 17.250.050(5) Rio Dell Municipal Code (RDMC).***

Staff will address General Plan consistency in Section 2 of this staff report. The zoning consistency analysis was provided previously. This section of the staff report is addressing landscaping and design review.

Below are the adopted Design Concepts for Site Planning for industrial/commercial developments.

- *Design of new development with particular attention to compatibility between non-residential and adjacent residential uses/properties within the project vicinity.*

There is one residence on an adjoining property located about 100 feet away. The residence is approximately 40 – 50 feet above the site. The proposed gable design of the greenhouses should not have an impact on the design compatibility between the two uses.

- *A unified design theme for integrated developments. All buildings within an integrated development shall be designed consistent with the approved design theme.*

It should be noted that the Stakeholders did not want a uniform design theme for the Humboldt Rio Dell Business Park as long as the building designs exhibited quality, aesthetically pleasing projects. In this case, greenhouses are fairly uniform in design with the exception of different roof style, gothic or arched or gable. The ends of the greenhouses and the head house will be an earth tone color. There are very limited design elements that can be incorporated into a greenhouse. Because of this, it's important that the site incorporate landscaping. The applicant is proposing a fairly significant amount of landscaping around the perimeter of the project site.

- *Pedestrian-friendly design which incorporates pedestrian amenities and outdoor gathering places into the project design with consideration given to the climate and planned use of space.*

Consistent with other projects in the HRDBP, staff is recommending that the frontage of the

proposed parcels parallel to Northwestern Avenue be improved to require curb, gutter, sidewalks along the frontage of the site. As previously discussed, staff recommends curbs, gutter and sidewalks from Northwestern Avenue into the site. These requirements are consistent with the Circulation Element, AB 1328, Complete the Streets legislation and the United States Department of Transportation Policy Statement on bicycle and pedestrian improvements. Again, the applicant has requested that these improvements be phased. Staff supports the applicant's request and recommends the following phased improvement schedule:

Phase	Improvements	Timing
Phase I: Construction of Greenhouses #1 and #2, headhouse, parking lot, landscaping, and on-site Septic.	Landscaping, wrought iron fencing, parking lot improvements, loading spaces, outdoor worker's area, curb, gutters and sidewalks and any associated paving along the access driveway and 25' in each direction along Northwestern Avenue	Prior to commencement of operations.
Phase II: Construction of Greenhouses #3 and #4 (planned to commence approximately 6 months after completion of Phase I).	Curb, gutters and sidewalks and any associated paving along Northwestern Avenue northerly to the end of the western property as projected to Northwestern Avenue and an additional 200 feet southerly.	Prior to occupancy and operations of greenhouses 3 and 4.
Phase III: Construction of Greenhouses #5, #6, and #7 (planned to commence approximately 8 months after completion of Phase II).	Completion of curb, gutters and sidewalks and any associated paving along Northwestern Avenue and excavation of the material in the drainage ditches.	Prior to occupancy and operations of greenhouses 5, 6 and 7.

- *A streetscape appearance that defines the pedestrian and vehicle corridor and presents an appealing and continuous theme along a sidewalk or street.*

Again, the project site does not actually front on Northwestern Avenue.

- *Office and light industrial parks and integrated employment campuses that provide outdoor areas for eating and sitting, retail and service venues as appropriate, and other amenities for project employees.*

The applicant is proposing an outdoor area for eating and sitting. The project has been conditioned accordingly. **Please refer to Exhibit A.**

- *Design flexibility for mixed-use development that ensures compatibility of use types and promotes beneficial relationships among uses.*

The proposed project is not a mixed-use development. The proposed development is focused on the legal commercial cannabis industry.

- *Where feasible, design streets with separated sidewalks that incorporate a planter strip between the back of curb and sidewalk.*

Again, the project site does not actually front on Northwestern Avenue. Should the Commission desire, they could recommend a landscaping strip behind the sidewalk along the driveway from Northwestern Avenue.

(2) The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Again, greenhouses are fairly uniform in design with the exception of different roof style, gothic or arched or gable. The ends of the greenhouses and the head house will be an earth tone color. There are very limited design elements that can be incorporated into a greenhouse. Because of this, it's important that the site incorporate landscaping. The applicant is proposing a fairly significant amount of landscaping around the perimeter of the project site. As such, staff believes the project will enhance the character of the neighborhood and community.

The Design Review adopted Design Concepts encourages the following:

- *High quality building designs that consist of durable and maintainable materials and that provide visual interest and diversity to the community.*

The proposed greenhouses are of the highest quality and are durable and maintainable.

- *Use of an architectural style and or/theme for new non-residential development that is consistent for building elevations of a single structure or consistent among all buildings within an integrated development.*

Of course, the proposed greenhouses are consistent among one another.

- *Design of buildings or structures that are sensitive to the neighborhood character with regard to scale, architectural style, use of materials and bulk.*

Staff believes the proposed greenhouses are consistent to the character of the area in regards to scale, style, materials and bulk.

- *Interesting and attractive architecture which includes varied relief of the facade elements and detailed articulation of the building features.*

Again, it is difficult to provide relief and articulation to greenhouses. However, staff believes the proposed landscaping along the front of the site will screen and somewhat provide relief to the long expanse of greenhouses.

- *Incorporate quality site design, including landscaping, signage and other elements of site design.*

Staff has previously addressed the landscaping in the zoning consistency analysis. Based on the submitted plans and recommended conditions of approval, staff believes that the site design and associated landscaping certainly enhances the character of the area and community. Again, the project has been conditioned to require compliance with the City's sign regulations.

(3) The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of existing or anticipated buildings on adjoining and nearby properties.

The site is zoned to allow various industrial uses and commercial uses. Staff believes the proposed greenhouses and associated landscaping is compatible with the nearby properties.

The site plan identifies two 40-yard dumpsters near the southeast corner of the property. Staff recommends that the dumpsters be screened or relocated to the north side of the greenhouses out of the public view. Staff is also recommending that utilities be placed underground. The project has been conditioned accordingly. **Please see Exhibit A.**

Staff has previously addressed the proposed exterior lighting associated with the project. In regards to signage, Section 17.30.300 of the RDMC identifies the City's sign regulations.

4) The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

As previously indicated based on the project location, surrounding uses and anticipated levels of use and the recommended conditions of approval, staff believes there is no evidence that the proposed development would result in future potential conflicts with pedestrians, bicyclist and vehicles.

Based on the information submitted, staff believes the proposed greenhouses and associated landscaping do comply with the City's Design Review Regulations.

2. General Plan Consistency

(b) The proposed use is consistent with the general plan and any applicable specific plan;

The General Plan designation is also Industrial Commercial. The purpose of the Industrial Commercial designation is to provide for industrial and commercial uses. All the uses would be considered principally permitted uses if the activities did not involve cannabis. chemotherapy.

The proposed uses are consistent with the following General Plan goal: "To promote a variety of commercial uses and allow light manufacturing in appropriate commercial areas."

There are no goals or policies which would preclude the proposed use in the Industrial Commercial designation. Therefore, the proposed use as conditioned is consistent with the General Plan.

3. Land Use Compatibility

(c) The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity;

Again, this required finding was made in regards to the design, location and size of the buildings as part of the Design Review approval. Based on the recommended conditions of approval, including the City's Performance Standards and the State regulations, staff believes the project can be found to be consistent with the existing and future land uses in the vicinity.

4. Site Suitability

(d) The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints;

The project site is subject to flooding. Section 17.30.140 of the RDMC requires that if a proposed building site is located in a flood zone, any proposed new construction or substantial improvement, must:

- (a) Be designed or modified and anchored to prevent flotation, collapse or lateral movement of the structures;
- (b) Use construction materials and utility equipment that are resistant to flood damage; and
- (c) Use construction methods and practices that will minimize flood damage.

In addition, to our local regulations, the project is also subject to FEMA's flood regulations (Title 44 Code of Federal Regulations, Section 61.7 and 61.8) which require that the first floor of the structure be located one foot above the Base Flood Elevation (BFE). As such a Flood Elevation

Certificate is required, this identifies among other site features, the BFE and the elevation of the floor of the building. Staff conditioned the Design Review project accordingly.

Access to the project site is from Highway 101. In regards to access, the City commissioned a Traffic Impact Study (TIS) with W-Trans out of Santa Rosa. Based on current and future conditions, W-Trans concluded that the access to and from the Business Park is adequate.

However, Caltrans has indicated that based on the intensity of development and traffic associated with it, some improvements, including the expansion of the left turn pockets (queuing), acceleration and deceleration northbound lanes and southbound staging/merging areas for vehicles exiting the business park may be required at a future date.

Any improvement costs will be shared among the developers based on the number of daily trips generated by their uses. The project has been conditioned accordingly. **Please refer to Exhibit A.**

Based on information on file and the recommended conditions of approval, staff believes the site is physically suitable for the intended uses.

5. Public Interest, Health, Safety and Welfare

(e) Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located;

The new construction is subject to the California Building Codes, including the California Fire Code, which includes standards to ensure that the buildings are constructed to minimum safety standards. Again, based on information on file and the recommended conditions of approval, staff believes there is no evidence to suggest that the proposed project will be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located.

6. California Environmental Quality Act

The primary purpose of the California Environmental Quality Act (CEQA) is to inform the decision makers and the public of potential environmental effects of a proposed project. Based on the Environmental Impact Report (EIR) prepared as part of the annexation of the area into the City which analyzed potential industrial uses and the nature of the project, including the proposed operating protocols and recommended conditions of approval, staff has determined that the project is Statutorily Exempt pursuant to Section 15061(b) (3) of the CEQA Guidelines, Title 14, Chapter 3 of the California Code of Regulations. Pursuant to Section 15061(b) (3) of the CEQA Guidelines this exemption is covered by the general rule that CEQA applies only to projects which have the potential for causing a **significant** effect on the environment. Based on

the nature of the proposed projects, staff believes there is no evidence to suggest that the projects will have a *significant* effect on the environment.

Attachments:

Attachment 1: Plan of Operations and Site Plan.

Attachment 2: Exhibit A, Conditions of Approval

Attachment 3: Resolution No. PC 146-2020.

Northwestern 101, LLC

Project Description and Plan of Operations

Conditional Use Permit for Mixed-Light
Cannabis Cultivation and On-Site Processing,
and Parcel Merger
625 Northwestern Avenue, Rio Dell, California

Updated March 24, 2020

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Appendices

Appendix J: Humboldt County LID Bioretention Facility
Guidelines

1.0 PROJECT DESCRIPTION

1.1 Project Proposal

The Applicant, Northwestern 101, LLC (formerly Hakuna Matata Collective, LLC), is requesting a Conditional Use Permit (CUP) through the City of Rio Dell in order to permit 25,340 square feet (sf) (canopy area) of mixed-light commercial cannabis cultivation. The cultivation would occur within seven (7) greenhouses built to a maximum of 42,400 sf. On-site processing (drying and trimming) is also proposed to occur within the head house which is attached to and included in the square footage for the greenhouse. The headhouse will be divided into separate areas, including office space, utilities, processing, shipping, and storage areas. Development on-site would be phased. The initial construction would include a portion of the greenhouses (Greenhouse #2), the headhouse and ancillary facilities (parking, on-site sewage disposal, and landscaping). Over time the maximum proposed greenhouse square footage would be built. The estimated project phases are as provided below:

- Phase I: Construction of Greenhouses #1 and #2, headhouse, parking lot, landscaping, and on-site septic
- Phase II: Construction of Greenhouses #3 and #4 (planned to commence approximately 6 months after completion of Phase I)
- Phase III: Construction of Greenhouses #5, #6, and #7 (planned to commence approximately 8 months after completion of Phase II)

In addition to mixed-light cultivation and on-site processing, the Applicant is proposing a parcel merger to merge the Site's four adjoining Assessor's Parcel Numbers (APNs), constituting two legal parcels (Parcel A – APNs 205-111-044 and 205-171-013; and Parcel B – APNs 205-111-045 and 205-171-018), into one legal lot. More details on the Site are provided below under Section 1.2 (Project Location).

A site plan detailing the proposed size and location of each project component is included for your reference. Additionally, Table 1 below provides a brief summary of the Site and proposed project.

Table 1. Summary of Site APNs, Gross Acreage, Requested Canopy Size, Land Use and Zoning Designations, and Commercial Cannabis License Type

APNs*	Gross Acres	Requested Canopy Size (sf)	Land Use/Zoning Designation	Commercial Cannabis License Type
205-111-044 205-111-045 205-171-013 205-171-018	3.24	25,340	Industrial/Commercial (IC)	Mixed Light

*Please note, the above-listed APNs are the four current APNs of the two legal parcels (Parcel A and Parcel B) comprising the Site; however, a parcel merger is also requested under the project in order to merge all individual properties into one legal lot. A single new APN will be issued for the Site once the APN is completed.

1.2 Project Location

The project site (Site) totals 3.24 acres in size and comprises four adjoining Assessor's parcels, identified as APNs 205-111-044, 205-111-045, 205-171-013, and 205-171-018, and two legal parcels (Parcels A and B),

located at 625 Northwestern Avenue in the City of Rio Dell (refer to Site Plan). As noted above, a parcel merger is proposed in order to merge the Site's two legal parcels into one legal lot.

The Site is entirely paved and predominately vacant, although the Site does comprise an existing modular structure and a shed for the water pump (approximately 8 by 8 feet), near the southwest border of the Site, on APN 205-111-044. Access to the Site is from Northwestern Avenue. The Site is bounded by forestland to the north, paved vacant lots to the east, and a railroad right of way (ROW) adjacent to US Highway 101 to the south and west. The surrounding area comprises mostly of forestland and a paved lot with an area of approximately 38 acres as measured using Google Earth. The Site has an elevation of approximately 80 feet relative to the World Geodetic System (WGS84). Topography of the Site and adjoining parcels to the south and east are flat, while the northern bound parcels are comprised of undulating forestland. Highway 101 lies approximately 250 feet to the southwest and Eel River is approximately 2,360 feet south of the Site.

1.3 Allowable Canopy Size

It is our understanding that the City of Rio Dell defers to canopy size limitations found in the State of California's cannabis regulations. The Applicant is seeking to permit a total of 25,340 sf of canopy area.

2.0 PLAN OF OPERATIONS

The following section details the proposed cannabis operation.

2.1 Cultivation and Processing Activities

The proposed cannabis operation involves mixed-light cultivation within a greenhouse and on-site processing, including drying and trimming.

Artificial lighting will be utilized year-round, with lighting provided 7:00am to 7:00pm during the non-summer months, and between 7:00am and 9:00am during the summer months. Dark-sky-compliant curtains will be used to enclose the cultivation area to ensure no light transmits from the greenhouses.

2.2 Hours and Days of Operation, Duration, and Required Employees

Cultivation would be a continuous operation. A total of four cycles would occur each year. On-site processing (drying and trimming) would occur for two weeks at the end of each cycle. The proposed operation would require up to 15 cultivation laborers and up to 30 trimmers for the on-site processing. However, a maximum of 15 employees are anticipated on-site at any given time. Employees would work a standard 40-hour work week; however, shifts would be staggered so that employees would be on-site each day of the week (Sunday through Saturday). There would be a total of three 8-hour shifts per day, with a maximum of 15 employees per shift.

In addition, security (one employee) would be provided on-site 24 hours a day, 7 days a week. Please note the Applicant is in communication with other Sawmill Annexation Area property owners to explore the possibility of coordinating security coverage of multiple properties, rather than each individual property owner providing individual coverage.

The operation would generally not be open to the public; however, the Applicant anticipated providing tours to the public one time per quarter. Tours would arrive in a single vehicle (van or bus) and would be up to 3 hours in duration.

2.3 Incoming and Outgoing Deliveries

It is anticipated that a maximum of three deliveries of supplies to the Site would occur weekly, with one large incoming delivery of nutrients occurring every other week. Outgoing deliveries with a distribution company will occur at the end of each cycle, and are anticipated to occur twice per week on Mondays and Fridays.

2.4 Security Plan

As noted above, 24-hour security will be provided on-site and the entire perimeter of the Site will be fenced (with wrought iron fencing along the Site's Northwestern Avenue frontage). Additional security features will include a locked gate and surveillance system with cameras, motion lights, and professional monitoring by an alarm company.

The proposed project will provide exterior lighting for added security, including motion lights, perimeter lighting, and parking area lights. All exterior lighting will comply with the requirements established under Section 17.30.180(15) of the Rio Dell Municipal Code (RDMC). All exterior lighting will be downcast and shielded, and will not directly illuminate adjacent properties.

2.5 Emergency Evacuation Plan

An egress plan for evacuation was requested by Fire Chief Shane Wilson of Rio Dell Fire in preliminary comments provided on February 10, 2020. Each greenhouse will be equipped with an exit door and each of the exit doors will be located on the same end of each greenhouse. A 6-foot central aisle will provide access between each structure. All exits will be clearly labeled and identified. In the event of an emergency, employees and visitors to the site shall utilize the nearest exit door to exit the structures and shall meet at a designated meeting place. Once safe to do so, emergency personnel will be contacted. All employees will be instructed at the start of employment on the operation's emergency evacuation plan.

2.6 Waste Management/Disposal Plan

On-site waste will be transported off-site by a local waste management company (Eel River Recology). Two appropriately sized dumpsters for garbage and green waste (40 yards each) will be rented and will be serviced weekly by Eel River Recology. No hazardous wastes will be utilized on-site requiring special transport and disposal.

2.7 Storage Plan

The storage of the operation's supplies, including salt fertilizers, will occur in the head house, within a locked area. Such materials will be contained within properly labeled containers. No pesticides will be utilized under the proposed cannabis cultivation.

2.8 Discharge and Emissions

In order to reduce potential odor emissions, the exhaust fans of each of the proposed greenhouses will be outfitted to implement high pressure fog. Under this system, essential oils and misters will be utilized to create fog. When the fog containing the essential oils and the airborne odors mix, the operation's odors will be neutralized.

At maximum buildout, the facility would use approximately 930,000 gallons of water annually. Approximately 2 percent of the water (50 gallons per day) is not reused and is considered runoff. This water is not processed through the reverse osmosis system through which the remaining irrigation water is processed and will contain minimal concentrations of salt fertilizers and will comply with North Coast Regional Water Quality Control Board waste discharge requirements. It is anticipated that approximately 83 sf of infiltration space will be needed on-site for a rain garden to dispose of the expected left-over water remaining following full buildout of the project.

Installation of the rain garden will follow Humboldt County's Low Impact Development (LID) procedures for a bioretention facility (refer to Appendix 1). It will be located near the existing stormwater drainage swale along the north property boundary and will include an underdrain to pipe excess discharge to the swale. The rain garden will be landscaped using a selection of plants from the North Coast Stormwater Coalition's Low Impact Development Recommended Plant List included in Appendix 1.

2.9 Operational Noise

Although the exhaust fans will generate noise, the noise level associated with the fans will not exceed noise levels associated with adjacent traffic on Highway 101.

2.10 Use of Public Facilities

The proposed operation will require the use of public facilities, including adjacent roadways for delivery trucks and employees traveling to the Site. Additionally, connection to the recently installed water line near the Sawmill Annexation Area will also occur under the project. The operation will use public water for all needed water.

Since public sewer is unavailable at the Site, an appropriately-size septic system with primary and reserve leach fields will be developed on-site to address the project's wastewater needs.

Additionally, the project will construct curb, gutter, and sidewalks along its Northwestern Avenue frontage, in compliance with City requirements.

2.11 Water Source and Usage

The operation will use public water for all needed water, including for fire suppression. It is anticipated that the facility will use a maximum of 930,000 gallons of water per year annually at full buildout. The cannabis operation includes a dripper system to minimize water waste and evaporation typically associated with spraying.

As requested by Fire Chief Shane Wilson of Rio Dell Fire in preliminary comments provided on February 10, 2020, a 3-inch stand pipe with 2.5-inch connection behind the facility to the north will be provided on-site.

2.12 On-Site Septic

In February and March 2020, LACO conducted an on-site wastewater suitability exploration in general accordance with the current Humboldt County Sewage Disposal Regulations and North Coast Basin Plan standards within the Applicant-proposed sewage disposal area in the northeastern portion of the Site. Results of the exploration, including design recommendations for a Wisconsin mound on-site wastewater disposal system for restroom facilities for up to 15 employees, are provided in the *Wisconsin Mound On-Site Wastewater Treatment System Test Results and Design* letter to the Applicant, dated March 2020, which will be provided to the Humboldt County Division of Environmental Health (DEH).

Six test pits located across the Site were excavated to a maximum depth of 10 feet below ground surface (bgs) and observed by LACO staff. Approximately 4.5 to 5 feet of gravelly sand fill with at least 5 percent fines were observed across the Site. Mottling was not encountered. Laboratory tests for soil texture were conducted on samples in accordance with the testing methods prescribed by Humboldt County DEH and North Coast Regional Water Quality Control Board.

Based on the results of the evaluation, the proposed sewage disposal areas in the northeastern portion of the Site appear suitable for a Wisconsin Mound Disposal System consisting of a pump-fed, single field with 100 percent reserve area as defined by the Humboldt County DEH. A 1,200-gallon septic tank is required to serve the proposed system and a 750-gallon pump chamber with a pump will be required to distribute effluent evenly throughout the mound.

2.13 Utilities

The project will connect to Pacific Gas and Electric Company (PG&E)-owned electrical facilities for electrical power at the Site. However, during Phase I, use of two (2) diesel generators is planned. One larger generator will be utilized to power the grow lights for 12 hours a day. A smaller generator will run continuously (24 hours a day) to power all the electronics, fans, etc. that are needed for control, ventilation, and air flow. Propane will be provided on-site by a licensed provider for supplemental heating. At full build-out, the project is estimated to require 3 million BTU. The proposed location of the propane tanks is shown on the site plan and will meet minimum setback requirements from buildings and other potential ignition sources.

2.14 Site Drainage and Erosion Control

The Site is predominately flat in nature. Since the proposed cultivation would be drip-fed, this would greatly minimize the amount of run-off associated with the proposed operation. In addition, erosion would not occur, as the Site is currently paved.

It is estimated that approximately two percent run-off will occur, which will be directed to the on-site rain garden to be installed under the project, in order to contain the run-off on-site. As a result, pursuant to City requirements, no net increase in stormwater run-off will occur under the project. Further, since the Site is entirely paved, the City confirmed on January 7, 2020, that a Hydraulics Study will not be required for the project.

2.15 Watershed and Habitat Protection

Since the Site is currently paved, it does not contain any sensitive habitat areas. However, Eel River is located approximately 2,360 feet south of the Site. As discussed above, the operation will utilize a dripper system to avoid over spraying and the small amount of run-off that is anticipated to occur (two percent) will be contained on-site and directed to the leach field to be installed at the Site. The irrigation system will be regulatory inspected and maintained to ensure run-off is minimized and waste is not discharged into any waters of the state.

Removal of existing vegetation will be required as part of the project to accommodate the septic system within the northeastern corner of the Site. Additional vegetation removal may be necessary within the northern portion of the Site in order to accommodate the proposed greenhouses and associated parking. A boundary survey of the Site is proposed under the project to verify the location and extent of the property boundaries.

2.16 Parking

Section 17.30.220 of the RDMC specifies the City's parking standards, which requires one parking space per 500 square feet of development, as well as handicap, bicycle, and motorcycle parking and loading spaces. Based on the requirements of Section 17.30.220 of the RDMC, approximately 85 parking spaces would be required for the Site; however, based on the nature of the proposed use an exception to the parking standard is sought. The proposed operation would generally not be open to the public and on most days, no visitors other than the property owners, Applicant, employees, or delivery personnel would be coming to the Site. However, one tour per quarter (as discussed above under Section 2.2) is estimated. Tours would arrive in a single vehicle (van or bus). As discussed under Section 2.2 above, at peak shift, 15 total employees are anticipated on-site at one time. To ensure adequate parking on-site, the Applicant is proposing one parking space per employee plus 3 extra spaces, as well as the required number of handicap, bicycle, and loading spaces as required under the RDMC. [No motorcycle spaces are required as the proposed number of vehicle spaces does not exceed 20 spaces.]

As provided in Table 2, below, and as shown on the Site plan, the Applicant proposes to provide the following parking facilities on-site:

Table 2. Summary of Proposed On-Site Parking Facilities

Parking Type	Number of Spaces
Standard Parking	14
Compact Parking	4
Handicap Parking	1
Bicycle Parking	3
Loading Spaces	2

2.17 Landscaping

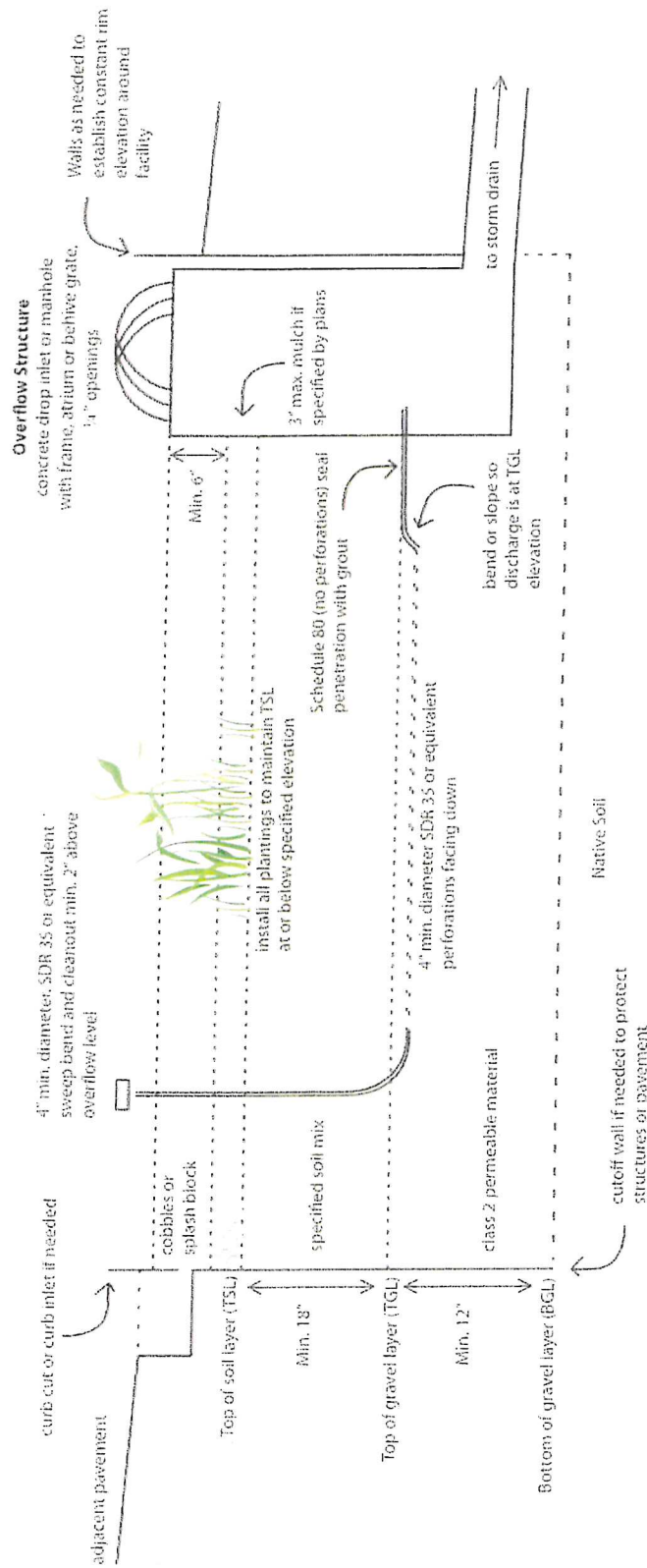
Landscaping will be provided on-site in compliance with the City's Design Review (RDMC Section 17.25.050) and parking regulations (RDMC Section 17.30.220), including perimeter and interior parking lot landscaping.

APPENDIX 1

Humboldt County LID Bioretention Facility Guidelines

Bioretention Facility

not to scale



Allowed variations for special site conditions:

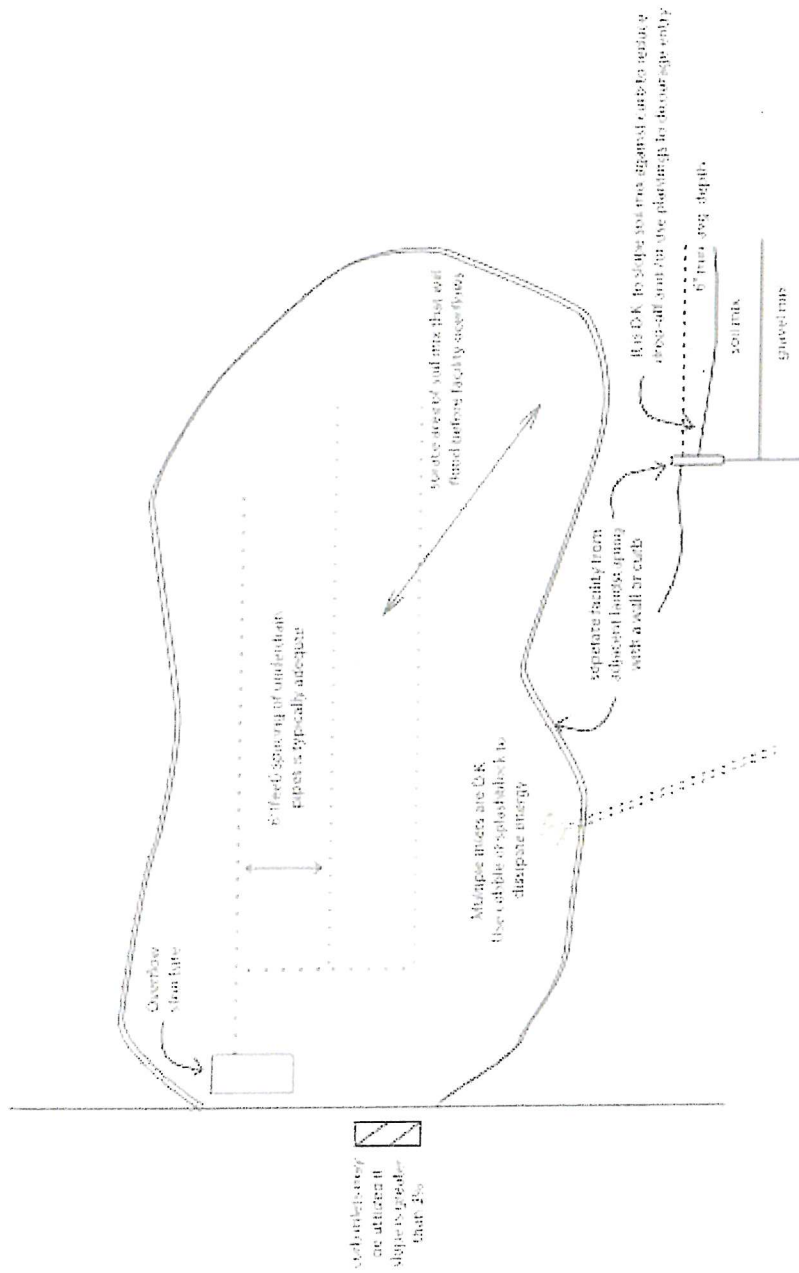
- Facilities located within 10 feet of structures or other potential geotechnical hazards may incorporate an impervious cutoff wall
- Facilities with documented high concentrations of pollutants in underlying soil or groundwater facilities where infiltration could contribute to a geotechnical hazard, and facilities located on elevated plazas or other structures may incorporate an impervious liner between the native soil and the BGL and locate the underdrain discharge at the BGL (flow-through planter configuration)
- Facilities located in areas of high groundwater, highly infiltrative soils, or where connection of the underdrain to a surface drain or subsurface storm drain are infeasible may omit the underdrain

Notes:

- No liner, no filter fabric, no landscape cloth.
- Maintain BGL, TGL, TSL throughout facility area at elevations to be specified in plan.
- Class 7 permeable layer may extend below and underneath drop inlet.
- Elevation of underdrain discharge is at top of gravel layer.
- See Section 6.3 for instructions on facility sizing and additional specifications

Bioretention Facility - Overview

not to scale



Note:

Show all elevations of curb, pavement, inlet, top of soil layer (TSL), top of gravel layer (TGL), and bottom of gravel layer (BGL) at all inlets and outlets and at key points along edge of facility



Soil/Compost and Gravel Specifications for Bioretention Facility

Compost shall be a well-decomposed, stable, weed-free organic matter source derived from waste materials including yard debris, wood wastes or other organic materials not including manure or biosolids, and shall meet the standards developed by the US Composting Council (USCC). The product shall be certified through the USCC Seal of Testing Assurance (STA) Program (a compost testing and information disclosure program).

Compost Quality Analysis:

Before delivery of the soil, the supplier shall submit a copy of the lab analysis performed by a laboratory that is enrolled in the USCC's Compost Analysis Proficiency (CAP) program and using approved Test Methods for the Evaluation of Composting and Compost (TMECC). The lab report shall verify that the compost parameters are within the limits specified below.

Parameter	Range	Reported as (units)
Organic Matter Content	35-75	%, dry weight basis
Carbon to Nitrogen Ratio	15:1 to 25:1	ratio
Maturity (Seed Emergence and Seedling Vigor)	>80	average % of control
Stability (CO ₂ Evolution Rate)	<8	mg CO ₂ -C/g unit OM/day
Soluble Salts (Salinity) -	<6.0	mmhos/cm
pH	6.5 - 8.0 May vary with plant species	units
Heavy Metals Content	PASS	PASS/FAIL: US EPA Class A standard, 40 CFR § 503.13, tables 1 and 3.
Pathogens		
Fecal coliform	PASS	PASS/FAIL: US EPA Class A standard, 40 CFR § 503.32(a) levels
Salmonella	PASS	PASS/FAIL: US EPA Class A standard, 40 CFR § 503.32(a) levels
Nutrient Content (provide analysis, including):		
Total Nitrogen (N)	≥0.9	%
Boron (Total B)	<80	ppm
Calcium (Ca)	For information only	%
Sodium (Na)	For information only	%
Magnesium (Mg)	For information only	%
Sulfur (S)	For information only	%

Soil/Compost and Gravel Specifications for Bioretention Facility

Gravel Layer

The gravel layer used in the bioretention facility must consist of *Class 2 Permeable Material* as specified in the State of California's Business, Transportation and Housing Agency, Department of Transportation; Standard Specifications 2010, manual (http://www.dot.ca.gov/hq/esc/oe/construction_contract_standards/std_specs/2010_StdSpecs/2010_StdSpecs.pdf).

The specific section, Subsurface Drains, Sec. 68, of the manual is used because it offers specific specifications for subsurface drains. In addition to the standardized permeable layer, a membrane layer of pea gravel or other intermediate-sized material is recommended at the top of the gravel layer to prevent fines from the soil/compost layer from moving downward into the gravel layer.

68-2.02F (1) General

Permeable material for use in backfilling trenches under, around, and over underdrains must consist of hard, durable, clean sand, gravel, or crushed stone and must be free from organic material, clay balls, or other deleterious substances.

Permeable material must have a durability index of not less than 40.

68-2.02F (3) Class 2 Permeable Material

The percentage composition by weight of Class 2 permeable material in place must comply with the grading requirements shown in the following table:

Class 2 Permeable Material* Grading Requirements

Sieve sizes	Percentage passing
1"	100
3/4"	90-100
3/8"	40-100
No. 4	25-40
No. 8	18-33
No. 30	5-15
No. 50	0-7
No. 200	0-3

*Class 2 permeable material must have a sand equivalent value of not less than 75.

Bioretention Facility Construction Checklist

Layout (to be confirmed prior to beginning excavation permit approval stage)

<input type="checkbox"/>	Square footage of the facility meets or exceeds minimum shown in Stormwater Control Plan
<input type="checkbox"/>	Site grading and grade breaks are consistent with the boundaries of the tributary Drainage Management Area(s) (DMAs) shown in the Stormwater Control Plan
<input type="checkbox"/>	Inlet elevation of the facility is low enough to receive drainage from the entire tributary DMA
<input type="checkbox"/>	Locations and elevations of overland flow or piping, including roof leaders, from impervious areas to the facility have been laid out and any conflicts resolved
<input type="checkbox"/>	Rim elevation of the facility is laid out to be level all the way around, or elevations are consistent with a detailed cross-section showing location and height of interior dams
<input type="checkbox"/>	Locations for vaults, utility boxes, and light standards have been identified so that they will not conflict with the facility
<input type="checkbox"/>	Facility is protected as needed from construction-phase runoff and sediment

Excavation (to be confirmed prior to backfilling or pipe installation)

<input type="checkbox"/>	Excavation conducted with materials and techniques to minimize compaction of soils within the facility area
<input type="checkbox"/>	Excavation is to accurate area and depth
<input type="checkbox"/>	Slopes or side walls protect from sloughing of native soils into the facility
<input type="checkbox"/>	Moisture barrier, if specified, has been added to protect adjacent pavement or structures.
<input type="checkbox"/>	Native soils at bottom of excavation are ripped or loosened to promote infiltration

Overflow or Surface Connection to Storm Drainage (to be confirmed prior to backfilling with any materials)

<input type="checkbox"/>	Grating excludes mulch and litter (beehive or atrium-style grates recommended)
<input type="checkbox"/>	Overflow is connected to storm drain via appropriately sized
<input type="checkbox"/>	No knockouts or side inlets are in overflow riser
<input type="checkbox"/>	Overflow is at specified elevation
<input type="checkbox"/>	Overflow location selected to minimize surface flow velocity (near, but offset from, inlet recommended)
<input type="checkbox"/>	Grating excludes mulch and litter (beehive or atrium-style grates recommended)
<input type="checkbox"/>	Overflow is connected to storm drain via appropriately sized



Bioretention Facility Construction Checklist

Underground connection to storm drain/outlet orifice

- ☐ Perforated pipe underdrain (PVC SDR 35 or approved equivalent) is installed with holes facing down
- ☐ Perforated pipe is connected to storm drain at specified elevation (typ. bottom of soil elevation)
- ☐ Cleanouts are in accessible locations and connected via sweep

Drain Rock/Subdrain (to be confirmed prior to installation of soil mix)

- ☐ Rock is installed as specified, 12" min. depth. Class 2 permeable, Caltrans specification 68- 2.02F(3) recommended
- ☐ Rock is smoothed to a consistent top elevation. Depth and top elevation are as shown in plans
- ☐ Slopes or side walls protect from sloughing of native soils into the facility
- ☐ No filter fabric is placed between the subdrain and soil mix layers

Soil Mix

- ☐ Soil mix is as specified.
- ☐ Mix installed in lifts not exceeding 12"
- ☐ Mix is not compacted during installation but may be thoroughly wetted to encourage consolidation
- ☐ Mix is smoothed to a consistent top elevation. Depth of mix (18" min.) and top elevation are as shown in plans, accounting for depth of mulch to follow and required reservoir depth

Irrigation

- ☐ Irrigation system is installed so it can be controlled separately from other landscaped areas
- ☐ Smart irrigation controllers and drip emitters are recommended and may be required by local code or ordinance.
- ☐ Spray heads, if any, are positioned to avoid direct spray into outlet structures

Bioretention Facility Construction Checklist

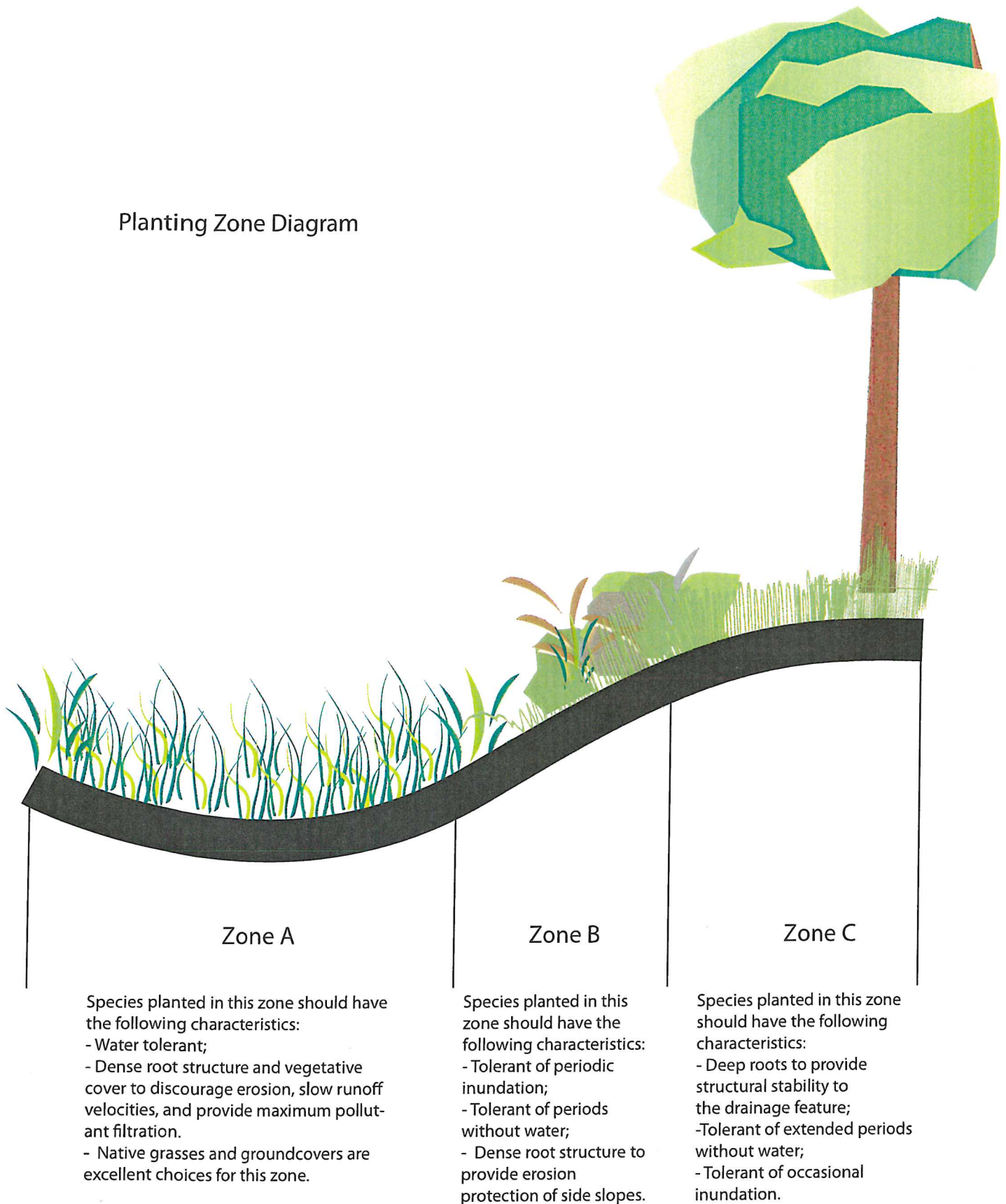
Planting	
<input type="checkbox"/>	Plants are installed consistent with approved planting plan, consistent with site water allowance
<input type="checkbox"/>	Any trees and large shrubs are staked securely
<input type="checkbox"/>	No fertilizer is added; compost tea may be used
<input type="checkbox"/>	No native soil or clayey material are imported into the facility with plantings
<input type="checkbox"/>	1"-2" mulch may be applied following planting; mulch selected to avoid floating
<input type="checkbox"/>	Final elevation of soil mix maintained following planting
<input type="checkbox"/>	Curb openings are free of obstructions

Final Engineering Inspection	
<input type="checkbox"/>	Drainage Management Area(s) are free of construction sediment and landscaped areas are stabilized
<input type="checkbox"/>	Inlets are installed to provide smooth entry of runoff from adjoining pavement, have sufficient reveal (drop from the adjoining pavement to the top of the mulch or soil mix, and are not blocked)
<input type="checkbox"/>	Inflows from roof leaders and pipes are connected and operable
<input type="checkbox"/>	Temporary flow diversions are removed
<input type="checkbox"/>	Rock or other energy dissipation at piped or surface inlets is adequate
<input type="checkbox"/>	Overflow outlets are configured to allow the facility to flood and fill to near rim before overflow
<input type="checkbox"/>	Plantings are healthy and becoming established
<input type="checkbox"/>	Irrigation is operable
<input type="checkbox"/>	Facility drains rapidly; no surface ponding is evident
<input type="checkbox"/>	Any accumulated construction debris, trash, or sediment is removed from facility
<input type="checkbox"/>	Permanent signage is installed and is visible to site users and maintenance personnel

APPENDIX 5

North Coast Stormwater Coalition LID Recommended Plant List

Planting Zone Diagram









North Coast Stormwater Coalition Low Impact Development Recommended Plant List

Zone A: Area of the LID facility defined as the bottom to the designed high water mark. This area has moist to wet soils and plants located here shall be tolerant of inundation.

Zone B: Area of the LID facility defined as the side slopes from the designed high water line up to the edge of the facility. This area typically has dryer to moist soils, with the moist soils being located further down the side slopes. Plants here should be drought tolerant and help stabilize the slopes.

Name	Planting Zone		Facility Type			Characteristics					Additional Information
	Common Name Scientific Name	Zone	Moisture Zone	Swale	Planter	Basin	NW Native	Evergreen	Height	Width	Sun Requirement










Shrubs

	Vine Maple <i>Acer circinatum</i>	A/B	wet, moderate	X	X	X	Y	N	15'	10'	shade to partial sun	small multi-stemmed tree, red-orange fall color, excellent soil binder
	American Dogwood <i>Cornus sericea</i>	A/B	wet, moderate	X	X	X	Y	N	6'	4'	shade to full sun	red twigs provide winter interest, white flowers in summer
	California Hazelnut <i>Corylus cornuta</i>	A/B	wet, moderate	X		X	Y	N	13'		shade to full sun	nuts attract wildlife
	Sala <i>Gaultheria shallon</i>	B	dry to moist	X		X	Y	Y	24'	24'	shade to sun	evergreen, produces edible blue berries
	Ocean Spray <i>Holodiscus discolor</i>	B	moderate, dry	X		X	Y	N	6'	4'	full to partial sun	flowers in summer, attractive to wildlife, good soil binder
	Twinberry <i>Lonicera involucrata</i>	B	dry	X		X	Y	N	5'	4'	prefers shade, sun tolerant	flowers attract humming birds and butterflies

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	Name		Planting Zone		Facility Type			Characteristics					Additional Infomation
	Common Name	Scientific Name	Zone	Moisture Zone	Swale	Planter	Basin	NW Native	Evergreen	Height	Width	Sun Requiremen	
													
	Osoberry	<i>Oemleria cerasiformis</i>	B	moderate	X		X	Y	N	6'	4'	prefers full to partial shade, sun tolerant	produces greenish white flowers, berries attract birds
	Wild Mock-orange	<i>Oemleria cerasiformis</i>	B	dry	X		X	Y	N	6'	4'	partial sun	fragrant flowers attract birds, bees, and butterflies, prune to shape
	Pacific Ninebark	<i>Physocarpus capitatus</i>	A/B	wet, moderate	X	X	X	Y	N	10'	3'	full to partial sun	unique shredding bark, drought tolerant
	Western Azalea	<i>Rhododendron occidentale</i>	A/B	wet, moderate	X	X	X	Y	N	15'	12'	full sun to shade	showy flower clusters attract wildlife
	Red-flowering Currant	<i>Ribes sanguineum</i>	B	wet, moderate, dry	X		X	Y	N	8'	4'	full to partial sun	showy pink flower clusters in spring, attractive to birds
	Wood Rose	<i>Rosa gymnocarpa</i>	B	wet, moderate	X		X	Y	N	3'	3'	full to partial sun	flowers in summer
	Willow species	<i>Salix spp.</i>	A/B	wet, moderate	X		X	Y	N	13'+	6'	partial shade to sun	male and female catkins born on separate plants
	Red Elderberry	<i>Sambucus racemosa</i>	B	moderate	X		X	Y	N	10'	10'	prefers full sun, partial shade	flowers attract pollinators

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	Name		Planting Zone		Facility Type			Characteristics					Additional Information
	Common Name	Scientific Name	Zone	Moisture Zone	Swale	Planter	Basin	NW Native	Evergreen	Height	Width	Sun Requirement	
	Douglas' Spiraea	<i>Spiraea douglasii</i>	A/B	moderate	X	X	X	Y	N	7'	4'	full to partial sun	pinkish flower clusters in summer ; spreads rapidly ; drought tolerant once established
	Common Snowberry	<i>Symphoricarpos albus</i>	B	moderate	X		X	Y	N	6'	3'	shade to full sun	flowers in spring, white berries in winter, excellent soil binder
	Evergreen Huckleberry	<i>Vaccinium ovatum</i>	B/C	moderate, dry	X	X		Y	Y	9'	8'	partial sun	edible berries in late summer, new growth emerges bronze in color, requires acidic soil, prune to shape
	Red Huckleberry	<i>Vaccinium parvifolium</i>	B	moist, dry	X	X		Y	N	13'	4'	full sun to partial shade	bell-shaped flowers, edible berry attracts wildlife
	<p>Acknowledgements:</p> <p>This guide was put together by Julie Neander and Camden Bruner of the City of Arcata Environmental Services Department and by Jen Kalt of Humboldt Bay Keeper. The information presented here is from the <i>Portland Stormwater Management Manual; Planting Templates and Lists</i> , by the City of Portland and <i>The Oregon Rain Garden Guide</i> , by Oregon Sea Grant. Used by permission. Photographs are from <i>A Photographic Guide to the Plants of Humboldt Bay Dunes and Wetlands</i> , compiled by Gordon Leppig and Ardrea J. Pickart and from <i>Calphotos</i> , by the University of California, Berkeley. Used by permission.</p>												

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	Name		Planting Zone		Facility Type			Characteristics					Additional Information
	Common Name	Scientific Name	Zone	Moisture Zone	Swale	Planter	Basin	NW Native	Evergreen	Height	Width	Sun Requirement	
Herbs													
	Common Yarrow	<i>Achillea millefolium</i>	C	moderate, dry				N	N	36"	24"	full to partial sun	summer flowers, tolerates regular to no watering
	Pearly Everlasting	<i>Anaphalis margaritacea</i>	C	dry				Y	N	48"	12"	full sun	popular dried flower
	Crimson Columbine	<i>Aquilegia formosa</i>	B	wet				Y	N	30"	12"	full to partial sun	red and yellow flowers attract hummingbirds, heavy bloomer
	Wild Ginger	<i>Asarum caudatum</i>	B	moist				Y	Y	10"	20"	shade/part	bold heart shaped leaves, pleasant fragrance, ornate flowers, evergreen perennial
	Common California Aster	<i>Symphyotrichum chilense</i>	B	dry to moist				Y	N	40"		full sun to partial shade	attracts native pollinators including bees, moths and butterflies
	Lady Fern	<i>Athyrium filix-femina</i>	B	moist	X	X	Y	N	36"	24"	shade		deciduous, low maintenance

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Name		Planting Zone		Facility Type			Characteristics					Additional Information
Common Name	Scientific Name	Zone	Moisture Zone	Swale	Planter	Basin	NW Native	Evergreen	Height	Width	Sun Requirement	
	Deer Fern <i>Blechnum spicant</i>	B	wet, moderate	X		X	Y	N	24"	24"	shade to partial sun	attracts deer
	California Brome <i>Bromus carinatus</i>	A	moderate, dry			X	Y	Y	18"	12"	full to partial sun	native competitor to exotic weeds
	Dense Sedge <i>Carex densa</i>	A	wet, moderate, dry	X			Y	Y	24"	12"	full sun to shade	good erosion control, trapping sediment and slowing the flow of water
	Short-scaled Sedge <i>Carex leptopoda</i>	A	wet	X			Y	Y	30"		full	perennial herb
	Tufted Hairgrass <i>Deschampsia caespitosa</i>	A/B	moderate	X			Y	N	36"	12"	full/part	attractive throughout winter
	Pacific Bleeding Heart <i>Dicentra formosa</i>	B	moderate, dry				Y	N	2'	2'	shade/part	delicate foliage with attractive spring flowers
	Blue Wildrye <i>Elymus glaucus</i>	B	moderate	X		X	Y	Y	24"	12"	full sun to light shade	perennial, distinct blue to blue-green colored leaves

North Coast Stormwater Coalition Low Impact Development Recommended Plant List

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	Name		Planting Zone		Facility Type			Characteristics					Additional Information
	Common Name	Scientific Name	Zone	Moisture Zone	Swale	Planter	Basin	NW Native	Evergreen	Height	Width	Sun Requirement	
	Seaside Daisy	<i>Erigeron glaucus</i>	B	moderate				Y	N	12"		full to partial sun	lavendar colored flowers that attract pollinators
	California Fescue	<i>Festuca californica</i>	B/C	moderate				Y	N	4.5'	3.5'	shade to partial sun	drought tollerant, stabilizes soils & prevents errosion,
	Idaho Fescue	<i>Festuca idahoensis</i>	B/C	moderate				Y	N	30"	24"	shade to full sun	grows in bunches
	Red Fescue	<i>Festuca rubra</i>	B	moderate	X		X	Y	Y	24"	12"	shade to partial sun	no-mow ground cover
	Beach Strawberry	<i>Fragaria chiloensis</i>	B	moderate, dry	X		X	Y	Y	6"	12"	full to partial sun	edible red berries, grows well in sandy soils
	Wood Strawberry	<i>Fragaria vesca</i>	B	moderate, dry	X		X	N	Y	10"	12"	shade/part	edible red berries
	Western Mannagrass	<i>Glyceria occidentalis</i>	A	wet, moderate			X	Y	Y	18"	12"	full sun to partial shade	does well in detention ponds and swales
	Small-flowered Alumroot	<i>Heuchera micrantha</i>	B	wet, moderate				Y	N	3.5'		full sun to part shade	distinct green to dark purple colored leaves; can grow on steep slopes

North Coast Stormwater Coalition Low Impact Development Recommended Plant List

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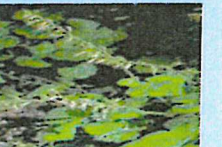
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	Name		Planting Zone		Facility Type			Characteristics					Additional Information
	Common Name	Scientific Name	Zone	Moisture Zone	Swale	Planter	Basin	NW Native	Evergreen	Height	Width	Sun Requirement	
	Douglas Iris	<i>Iris douglasiana</i>	B	moist to dry	X		X	Y	N	18"	12"	full to partial sun	cream-purple flowers arise on a 1-2 foot high stem; grows well in run-off ditches
	Common Rush	<i>Juncus effusus</i> var. <i>pacificus</i>	A	wet, moderate	X	X	X	Y	Y	36"	12"	full sun to part shade	tolerant of polluted conditions, Note that <i>J. effusus</i> var. <i>effusus</i> can be invasive, use native Pacific variety
	Dagger-leaf Rush	<i>Juncus ensifolius</i>	A	wet, moderate	X	X	X	N	N	10"	12"	full/part	flatbed stems much like an iris; spreads vigorously
	Spreading Rush	<i>Juncus patens</i>	A	wet, moderate	X	X	X	N	Y	36"	12"	full/part	bluish-green foliage; very little maintenance
	Large-leaved Lupine	<i>Lupinus polyphyllus</i>	A/B	moderate	X		X	Y	N	36"	12"	full/part	showy spring flowers, fixes nitrogen
	False Lily-of-the-valley	<i>Maianthemum dilatatum</i>		wet, moderate				Y		16"		shade	ground cover; can form broad mats
	Gray Beartongue	<i>Penstemon rattanii</i> var. <i>rattanii</i>	B	moderate				Y	N	48"		full sun to part shade	attracts native pollinators including bumble bees
	Sword Fern	<i>Polystichum munitum</i>	A/B	wet, moderate	X		X	Y	Y	24"	24"	full/part	shiny, leathery leaves

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Name	Planting Zone		Facility Type			Characteristics					Additional Information
Common Name Scientific Name	Zone	Moisture Zone	Swale	Planter	Basin	NW Native	Evergreen	Height	Width	Sun Requirement	
 Cinquefoil <i>Potentilla gracilis</i>	B/C	moderate, dry				Y	N	40"		full/part	flowers attract native bees
 Three-squared Bulrush <i>Schoenoplectus americanus</i>	A	wet				Y	N	7'		full/part	native perennial
 Small-flowering Bulrush <i>Scirpus microcarpus</i>	A	moderate			X	Y	Y	24"	24"	full/part	good soil binder
 Golden-eyed-grass <i>Sisyrinchium californicum</i>	A/B	moist	X	X	X	N	Y	6"	12"	full to partial sun	produces bright yellow flowers that attract many beneficial insects
 Coast Goldenrod <i>Solidago spatulata</i>	B	moderate				Y	N	20"		full to partial sun	bright yellow flowers attract butterflies and other insects
 Fringe Cups <i>Tellima grandiflora</i>	B	moderate				Y	N	12"		shade	flowers age changing from green to pink
 Youth-on-age <i>Tolmiea diplomenziesii</i>	B	wet, moderate				Y	N	15"		shade	perennial herb

Acknowledgements:

This guide was put together by the City of Arcata Environmental Services Department and Humboldt Bay Keeper. The information presented here is from the *Portland Stormwater Management Manual: Planting Templates and Lists*, by the City of Portland and *The Oregon Rain Garden Guide*, by Oregon Sea Grant. Used by permission. Photographs are from *A Photographic Guide to the Plants of Humboldt Bay Dunes and Wetlands*, compiled by Gordon Leppig and Andrea J. Pickart and from *Calphotos*, by the University of California, Berkeley. Used by permission.

EXHIBIT A

Conditions of Approval

Northwestern 101/Marathon 101 Conditional Use Permit

File No. 205-111-044

Case No's. CUP-CCLUO-20-01 & CUP-DR-20-01

Conditions of Approval

1. Greenhouses shall utilize in-floor drains for accidental over-watering or spills and shall drain to landscape area or be recycled. The floor drainage system shall not be tied to the on-site wastewater treatment system.
2. All greenhouses must be fully enclosed, secure and lockable.
3. All disposal of cannabis waste is subject to Section 40290 of the California Code of Regulations (CCR). Section 40290(e) of the CR's requires that the cannabis waste be rendered to make it unusable and unrecognizable before removing the waste from the premises. This requires that the cannabis waste be grinded and incorporated with other ground material so that the resulting mixture is at least 50% non-cannabis material by volume. All hazardous waste as defined in Section 40141 of the Public Resources Code (PRC) must be managed with all applicable hazardous waste statutes and regulations.
4. In addition to any and all State regulations to cannabis cultivation, all cultivation activities are subject to the Performance Standards in Section 17.30.195(10) of the Rio Dell Municipal Code.
5. Light shall not escape at a level that is visible from neighboring properties between sunset and sunrise. Should the City receive complaints that the lighting is out of alignment or not complying with these standards, within ten (10) working days of receiving written notification that a complaint has been filed, the applicant shall submit written verification that the lights' shielding and alignment has been repaired, inspected and corrected as necessary.
6. A temporary generator(s) is allowed for Phase 1 based on the following conditions:
 - ♦ The generator(s) shall be enclosed to minimize noise levels.
 - ♦ Noise levels shall not exceed 60 decibels at any property line.
 - ♦ The generator(s) shall be Tier 4.
 - ♦ The applicant shall submit a signed agreement with PG&E regarding the installation of the needed infrastructure/power.
 - ♦ The applicant shall enroll in the County Hazardous Waste program. Hazardous materials and wastes from agricultural businesses are regulated by the Humboldt County

Environmental Health Division, which administers the Hazardous Materials program as one of the Certified Unified Program Agencies (CUPA). This includes the application, inspection, enforcement, and reporting under the program requirements and standards set by the California Environmental Protection Agency (CalEPA). The applicant shall provide evidence of enrollment.

- ♦ The use of the generator(s) is limited to 180 days.
- ♦ Phase II will not be allowed to commence until adequate public (PG&E) power is provided to the site.

7. The applicant shall provide 25 standard (8.5' x 19') parking spaces, one ADA space, three motorcycle spaces and six bicycle spaces as depicted in Figure 3 of this staff report. The applicant shall submit Improvement Plans identifying the required curbing.

8. All parking spaces, access drives and maneuvering areas to be improved with and permanently maintained with an all-weather durable asphalt, concrete of comparable surface as required by the Director of Public Works.

9. The parking spaces be clearly delineated with white 4-inch-wide lines and that the stripping be continuously maintained in a clear and visible manner.

10. Concrete curbing at least 6 inches in height and 6 inches wide shall be installed around the perimeter of the parking and landscaped areas. The curbing is allowed to have breaks in it to allow stormwater to pass and infiltrate the landscaped areas. The applicant shall submit Improvement Plans identifying the required curbing.

11. The applicant shall submit a Landscaping Plan identifying the types, size at planting and size at maturity of the plantings. The landscaping shall incorporate the use of drought tolerant, native where appropriate ground cover, shrubs and trees.

12. The applicant shall replace the existing failed culvert under the access driveway with an 18" HDPE culvert and grub the bottom channel and sides of ditches to accommodate additional stormwater storage. The culvert shall be replaced as part of Phase 1.

13. The drainage ditch north of the access driveway parallel to Northwestern Avenue shall be excavated to accommodate an additional 10,000+/- gallons, which will require the removal of approximately 50 cubic yards. The southerly ditch shall be excavated to accommodate an additional 20,000+/- gallons, which will require the removal of approximately 100 cubic yards. The drainage ditch improvements shall be completed prior to occupancy and operations of greenhouses 5, 6 and 7.

14. The applicant shall submit a parking lot lighting plan. All lighting shall be LED fixtures and be directed downward and away from adjoining properties and public rights-of-way and so that no on-site light fixture directly illuminates adjacent properties.

15. The applicant install the outdoor area for eating and sitting, including benches and picnic tables prior to the commencement of operations.

16. Two loading areas, each 11' wide, 35' deep with 14' of vertical clearance shall be provided. If the loading areas are visible to the public they shall be screened as required by Section 17.30.220(21) of the RDMC. Each loading space must be striped and identified for "loading only" and the striping and notation must be continuously maintained in a clear and visible manner.

17. The proposed waste and recycling dumpsters shall be screened or sited so as not to be visible to the public.

18. Curbs, gutters and a five (5) foot sidewalk shall be provided parallel to the southerly property line along Northwestern Avenue. A PCC Caltrans Type A1-6 curb shall be provided. The applicant shall pave any area between the new gutter and the existing asphalt. When widening hot mix (asphalt roads) the widened road shall be paved with hot mix. A sawcut is required to ensure a uniform joint between the existing and new pavement. The location of the sawcut shall be approved by the Department of Public Works. The structural section of all new asphalt shall include a minimum of 0.2 foot of Caltrans Type B hot mix (asphalt) over 0.67 foot of Caltrans Class 2 aggregate base. If required by the City Engineer, the structural section of all new roads shall be determined by Caltrans R-Value method using a Traffic Index (T.I.) approved by the City Engineer. Based on soil conditions, the City Engineer may also require a geotextile fabric to be placed on top of the sub grade.

The improvements shall be phased as follow:

Phase	Improvements	Timing
Phase I: Construction of Greenhouses #1 and #2, headhouse, parking lot, landscaping, and on-site Septic.	Landscaping, wrought iron fencing, parking lot improvements, loading spaces, outdoor worker's area, curb, gutters and sidewalks and any associated paving along the access driveway and 25' in each direction along Northwestern Avenue.	Prior to commencement of operations.

Phase	Improvements	Timing
Phase II: Construction of Greenhouses #3 and #4 (planned to commence approximately 6 months after completion of Phase I).	Curb, gutters and sidewalks and any associated paving along Northwestern Avenue northerly to the end of the western property as projected to Northwestern Avenue and an additional 200 feet southerly.	Prior to occupancy and operations of greenhouses 3 and 4.
Phase III: Construction of Greenhouses #5, #6, and #7 (planned to commence approximately 8 months after completion of Phase II).	Completion of curb, gutters and sidewalks and any associated paving along Northwestern Avenue and excavation of the material in the drainage ditches.	Prior to occupancy and operations of greenhouses 5, 6 and 7.

19. The applicant shall submit Improvement Plans identifying the following. The plans shall be reviewed approved by the City Engineer. The applicant shall be responsible for the costs of the review and approval.

- All utilities, driveway approaches, travel lanes, curbs, gutters, sidewalks, drainage improvements, fire hydrant locations, no parking areas and any other items deemed necessary by the City Engineer, Public Works Director and the Fortuna Fire Protection District.

20. All improvements in or on City roads or easements require an Encroachment Permit.

21. Highway 101, Metropolitan Heights and Northwestern Intersection Improvements: Any required improvement costs to the Highway 101 and Metropolitan Heights and Northwestern Intersections will be shared among the developers based on the number of daily trips generated by their uses.

22. Community Relations: The applicant shall provide the City Manager or designee with the name, phone number, facsimile number, and email address of an on-site community relations or staff person or other representative to whom the City can provide notice if there are operating problems associated with the medical cannabis facility or refer members of the public who may have any concerns or complaints regarding the operation of the medical cannabis facility. Each medical cannabis facility shall also provide the above information to its business neighbors located within 300 feet of the medical cannabis facility.

23. Inspections: Consent to a minimum of at least one quarterly on-site compliance inspection, to be conducted by appropriate City officials during regular business hours (Monday – Friday, 9:00 am – 5:00 pm, excluding holidays). The applicant shall be required to pay the Inspection Fee in effect at that time.

24. The applicant shall execute the Release of Liability and Hold Harmless Agreement required by Section 17.30.195(4) of the Rio Dell Municipal Code (RDMC).

25. The applicant shall enroll in the County Hazardous Waste program. Hazardous materials and wastes from agricultural businesses are regulated by the Humboldt County Environmental Health Division, which administers the Hazardous Materials program as one of the Certified Unified Program Agencies (CUPA). This includes the application, inspection, enforcement, and reporting under the program requirements and standards set by the California Environmental Protection Agency (CalEPA). The applicant shall provide evidence of enrollment.

Operational Conditions

1. Electricity for the Mixed Light cultivation activities shall be provided by any combination of the following:

- ♦ On-grid power with 42 percent renewable source.
- ♦ Onsite zero net energy renewable source providing 42 percent of power.
- ♦ Purchase of carbon offsets for any portion of power above 58 percent not from renewable sources.
- ♦ Demonstration that the equipment to be used would be 42 percent more energy efficient than standard equipment, using 2014 as the baseline year for such standard equipment.

Purchase of carbon offset credits (for grid power procured from non-renewable producers) may only be made from reputable sources, including those found on Offset Project Registries managed the California Air Resources Board, or similar sources and programs determined to provide bona fide offsets recognized by relevant state regulatory agencies.

All outdoor storage materials and equipment shall be screened from public view.

2. The building, parking lot, stripping and landscaping shall be maintained in good condition. The stripping shall be permanently maintained in a clear and visible manner.

3. The storm drain system, including on-site drainage ditches shall be maintained to ensure they work properly.

4. Each light fixture shall be directed downward and away from adjoining properties and public rights-of-way and so that no on-site light fixture directly illuminates adjacent properties.

5. The operations shall comply with all local and State regulations at all times.

6. Comply with all federal, state, and local laws and regulations applicable to California Agricultural Employers, including those governing cultivation and processing activities.

7. Record Retention. The term record includes: all records, applications, reports or other supporting documents required by the City and the State.

- ◆ Each permittee shall keep and maintain the records listed in subsection (e) for at least 7 years from the date the document was created.
- ◆ Records shall be kept in a manner that allows the records to be immediately produced for the City at the permitted premises.
- ◆ All records related to commercial cannabis activity are subject to inspection by the City.
- ◆ A permittee may contract with a third party to provide custodial or management services of the records. Such a contract shall not relieve the licensee of its responsibilities under this condition.
- ◆ Each permittee shall maintain all of the following records on the licensed premises or at a different location identified by the licensee and approved by the City, including but not limited to:
 - City and State issued permits and license(s);
 - Plan of Operations;
 - All records evidencing compliance with the environmental protection measures required in Sections 8313, 8314, and 8315 of the California Code of Regulations;
 - Any supporting documentation for data or information input into the track-and-trace system;
 - Financial records, including but not limited to, bank statements, tax records, invoices, and sales receipts;

- Personnel records, including each employee's full name, social security, or individual tax payer identification number, date of beginning employment, and date of termination of employment if applicable;
 - Training records, including but not limited to the content of the training provided and the names of the employees that received the training;
 - Contracts with other state licensed medical cannabis businesses;
 - Permits, licenses, and other local authorizations to conduct the licensee's commercial cannabis activity;
 - Security records; and
 - Records associated with the composting or disposal of waste.
- ◆ All required records shall be prepared and retained in accordance with the following conditions:
 - ◆ Records shall be legible; and
 - ◆ Records shall be stored in a secured area where the records are protected from debris, moisture, contamination, hazardous waste, fire and theft.

The applicant shall pay all fees and taxes as required by the City of Rio Dell.

Informational Notes

1. If potential archaeological resources, paleontological resources or human remains are unearthed during grading activities, all work ground disturbing activities shall be stopped and a qualified archaeologist funded by the applicant and approved by the City of Rio Dell and the Bear River Band of the Wiyot Nation, shall be contracted to evaluate the find, determine its significance, and identify any required mitigation (e.g., data recovery, resource recovery, in-situ preservation/capping, etc.). Any such mitigation shall be implemented by the developer prior to resumption of any ground disturbing activities.
2. In accordance with California Health and Safety Code §7050.5 and California Public Resources Code §5097.94 and 5097.98, if human remains are uncovered during project subsurface construction activities, all work shall be suspended immediately and the City of Rio

Dell, Humboldt County Coroner and the Bear River Band of the Wiyot Nation shall be immediately notified. If the remains are determined by the Coroner to be Native American in origin, the Native American Heritage Commission (NAHC) shall be notified within 24 hours of the determination, and the guidelines of the NAHC shall be adhered to in the treatment and disposition of the remains.

RESOLUTION NO. PC 146-2020



**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RIO DELL
APPROVING MARATHON 101 CANNABIS ACTIVITIES CONDITIONAL USE PERMIT
& DESIGN REVIEW**

WHEREAS Marathon 101, LLC (formerly Hakuna Matata Collective, LLC), is requesting a Conditional Use Permit (CUP) to permit 25,340 square feet (sf) (canopy area) of mixed-light commercial cannabis cultivation; and

WHEREAS Section 17.30.195 the City's Commercial Cannabis Land Use Ordinance (CCLUO), allows commercial cannabis activities at the former Eel River Sawmill site, now known as the Humboldt Rio Dell Business Park with a Conditional Use Permit (CUP); and

WHEREAS the cultivation would occur within seven (7) greenhouses built to a maximum of 42,400 sf. On-site processing (drying and trimming) is also proposed to occur within the head house which is attached to and included in the square footage for the greenhouse. The headhouse will be divided into separate areas, including office space, utilities, processing, shipping, and storage areas; and

WHEREAS the proposed development will occur in three phases; and

WHEREAS Phase I includes construction of greenhouses #1 and #2, headhouse, parking lot, landscaping, and on-site septic; and

WHEREAS Phase II includes construction of greenhouses #3 and #4 (planned to commence approximately 6 months after completion of Phase I); and

WHEREAS Phase III includes construction of greenhouses #5, #6, and #7 (planned to commence approximately 8 months after completion of Phase II); and

WHEREAS The buildings were evaluated for compliance with the development standards of the Industrial Commercial (IC) zone, including setbacks, lot coverage, building height, parking, design review, landscaping etc. as part of the Design Review approval; and

WHEREAS the purpose of the Industrial Commercial zone is to provide for industrial and commercial uses; and

WHEREAS based on the information submitted and referral agency comments or lack of comments, staff recommends that the proposed uses be found to be consistent with the development standards of the Industrial Commercial (IC) zone and the Commercial Medical Cannabis Land Use Ordinance, Section 17.30.195, the Use Permit requirements of Section 17.35.030 and the Design Review requirements found in Section 17.250.050 of the Rio Dell Municipal Code; and

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Rio Dell finds that *as conditioned*:

- (a) The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this title and all other City ordinances, including the applicable "Guiding Principles and Design Concepts" in Section 17.250.050(5) Rio Dell Municipal Code (RDMC);
- (b) The proposed use is consistent with the general plan and any applicable specific plan; and
- (c) The proposed design, location, size, landscaping and operating characteristics of the proposed activity are compatible with and will enhance the character of the neighborhood and community and future land uses in the vicinity; and
- (d) The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of existing or anticipated buildings on adjoining and nearby properties; and
- (e) The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints;
- (f) The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation; and
- (g) Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zoning district in which the property is located; and
- (h) The Conditional Use Permit has been processed in accordance with the applicable provisions of the California Government Code and the California Environmental Quality Act (CEQA);

I HEREBY CERTIFY that the forgoing Resolution was PASSED and ADOPTED at a regular meeting of the Planning Commission of the City of Rio Dell on April 28, 2020 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Nick Angeloff, Chairperson

ATTEST:

I, Karen Dunham, City Clerk for the City of Rio Dell, State of California, hereby certify the above and foregoing to be a full, true and correct copy of Resolution No. PC 146-2020 adopted by the Planning Commission of the City of Rio Dell on April 28, 2020.

Karen Dunham, City Clerk, City of Rio Dell